

Legal Description, Interest To Be Acquired and Registered Interests In the Property

Property #1

Legal Description

ALL THAT PORTION OF THE SOUTH EAST QUARTER OF SECTION TWENTY SIX (26) TOWNSHIP FIFTY THREE (53) RANGE TWENTY FIVE (25) WEST OF THE FOURTH MERIDIAN, DESCRIBED AS FOLLOWS: COMMENCING AT AN IRON POST ON THE SOUTH BOUNDARY OF THE SAID QUARTER SECTION FOURTEEN HUNDRED AND NINETEEN (1419) FEET, MORE OR LESS, DISTANT WESTERLY FROM THE SOUTH EAST CORNER THEREOF, THENCE NORTHERLY IN A STRAIGHT LINE TO AN IRON POST ON THE NORTH BOUNDARY OF THE SAID QUARTER SECTION, WHICH IS FOURTEEN HUNDRED AND NINETEEN (1419) FEET, MORE OR LESS, DISTANT WESTERLY FROM THE NORTH EAST CORNER THEREOF, THENCE WESTERLY ALONG THE SAID NORTH BOUNDARY TO THE NORTH WEST CORNER THEREOF, THENCE SOUTHERLY ALONG THE WESTERLY BOUNDARY THEREOF TO ITS INTERSECTION WITH THE NORTH EASTERLY BOUNDARY OF THE ST. ALBERT TRAIL, AS SHOWN ON ROAD PLAN 1460EU, THENCE SOUTH EASTERLY ALONG THE SAID NORTH EASTERLY BOUNDARY TO ITS INTERSECTION WITH THE SOUTH BOUNDARY OF THE SAID QUARTER SECTION, THENCE EASTERLY ALONG THE SAID SOUTH BOUNDARY TO THE POINT OF COMMENCEMENT. EXCEPTING THEREOUT: A) 4.05 HECTARES (10.00 ACRES) MORE OR LESS, SUBDIVIDED UNDER PLAN 2262KS B) 0.829 HECTARES (2.05 ACRES) MORE OR LESS, SUBDIVIDED UNDER PLAN 2263KS C) 0.534 HECTARES (1.32 ACRES) MORE OR LESS, SUBDIVIDED UNDER PLAN 5185KS D) 0.506 HECTARES (1.25 ACRES) MORE OR LESS, AS SHOWN ON ROAD PLAN 1707LZ E) 0.401 HECTARES (0.99 ACRES) MORE OR LESS, AS SHOWN ON ROAD PLAN 4577TR F) 0.030 HECTARES (0.07 ACRES) MORE OR LESS, AS SHOWN ON ROAD PLAN 8322101.

Interest Being Acquired

An interest in fee simple together with all rights, titles, and interests in and to the lands and any other owner or person who has an interest in or possession of or occupation of the lands legally described as follows:

All of that portion of the SE 26-53-25-4 containing 0.010 Ha. as outlined in red on the plan attached hereto as Attachment 2-1, Page 3 of 3, excepting thereout all mines and minerals.

The property is registered in North Alberta Land Registration, Land Titles Office as follows:

Certificate of Title #	Estate	Registered Owner
062 495 640+1	Fee Simple	Stark Bouilly Davies GP Ltd. (undivided ½ interest)

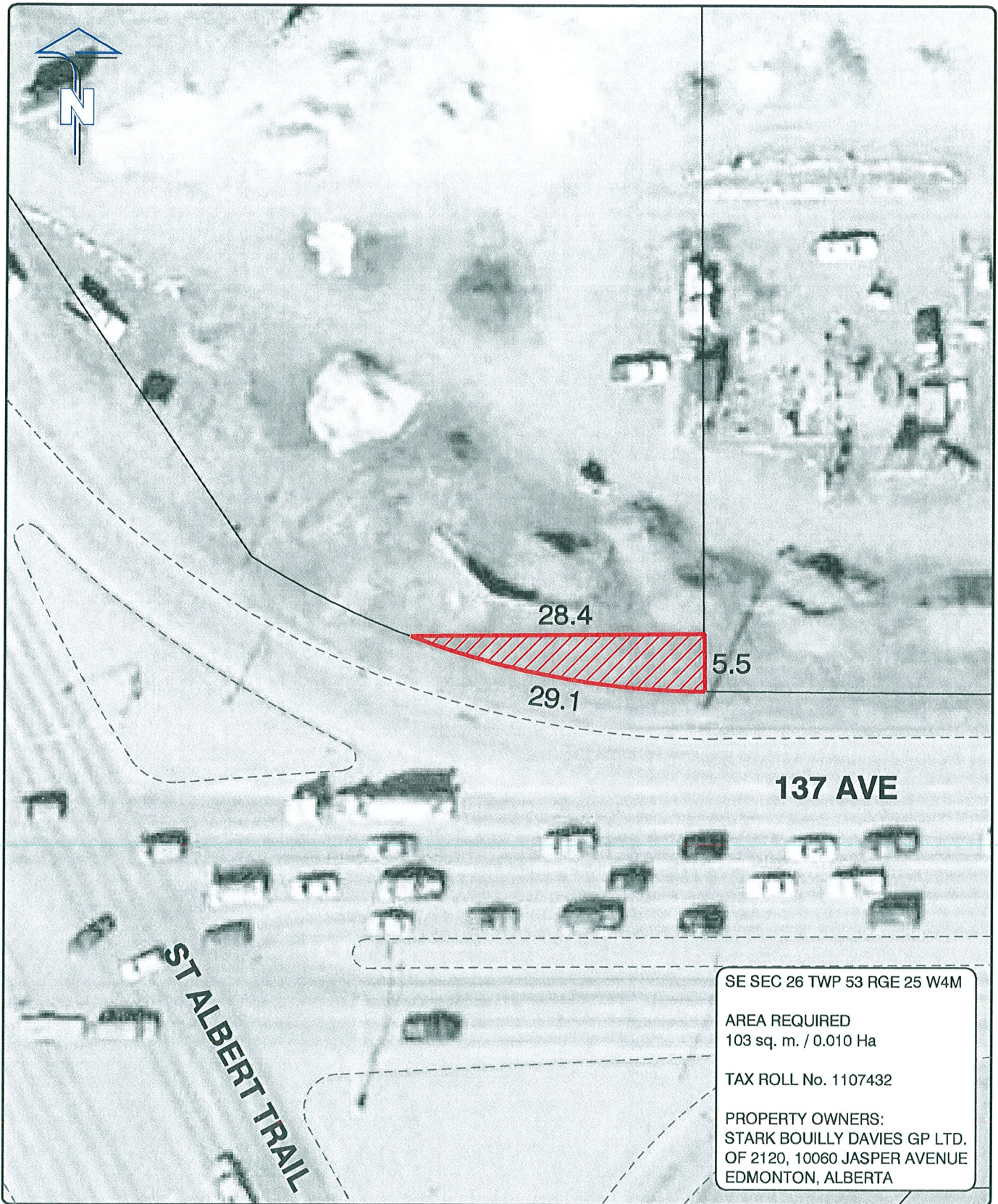
Registered Interests

Registration Number	Registration Type	Name
4836LF	Restrictive Covenant	-
7733UF	Caveat	Edmonton Regional Planning Commission
052 105 442	Zoning Regulations	Her Majesty The Queen in Right of Canada

Certificate of Title #	Estate	Registered Owner
062 495 638+1	Fee Simple	Stark Bouilly Davies GP Ltd. (undivided ½ interest)

Registered Interests

Registration Number	Registration Type	Name
4836LF	Restrictive Covenant	-
7733UF	Caveat	Edmonton Regional Planning Commission
812 296 197	Caveat	Province of Alberta Treasury Branches
052 105 442	Zoning Regulations	Her Majesty The Queen in Right of Canada



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NO.	REVISIONS	BY	DATE	APPD	

GENERAL MANAGER OF TRANSPORTATION AND STREETS		DATE
MANAGER OF STREETS ENGINEERING		DATE
DIRECTOR OF ROADWAYS DESIGN		DATE
DRAWN	DATE	DESIGNED
SS	07/07/24	JH
CHECKED	DATE	DATE
TW	07/07/24	07/07/24

SCALE 1:500

0m 10m

THE CITY OF
Edmonton

TRANSPORTATION DEPARTMENT
STREETS ENGINEERING BRANCH

PROJECT

137 AVENUE
ST. ALBERT TRAIL INTERSECTION
LAND REQUIREMENT

DRAWING

LAND 0510

Legal Description, Interest To Be Acquired and Registered Interests In the Property

Property #2**Legal Description**

PLAN 2262KS LOT FOUR (4) CONTAINING 4.05 HECTARES (10 ACRES) MORE OR LESS EXCEPTING THEREOUT: 0.040 HECTARES (0.11 ACRES) MORE OR LESS, AS SHOWN ON ROAD PLAN 8322101

Interest Being Acquired

An interest in fee simple together with all rights, titles, and interests in and to the lands and any other owner or person who has an interest in or possession of or occupation of the lands legally described as follows:

All of that portion of Lot 4, Plan 2262 KS containing 0.065 Ha. as outlined in red on the plan attached hereto as Attachment 2-2, Page 3 of 3, excepting thereout all mines and minerals.

The property is registered in North Alberta Land Registration, Land Titles Office as follows:

Certificate of Title #	Estate	Registered Owner
062 495 638	Fee Simple	Stark Bouilly Davies GP Ltd. (undivided ½ interest)

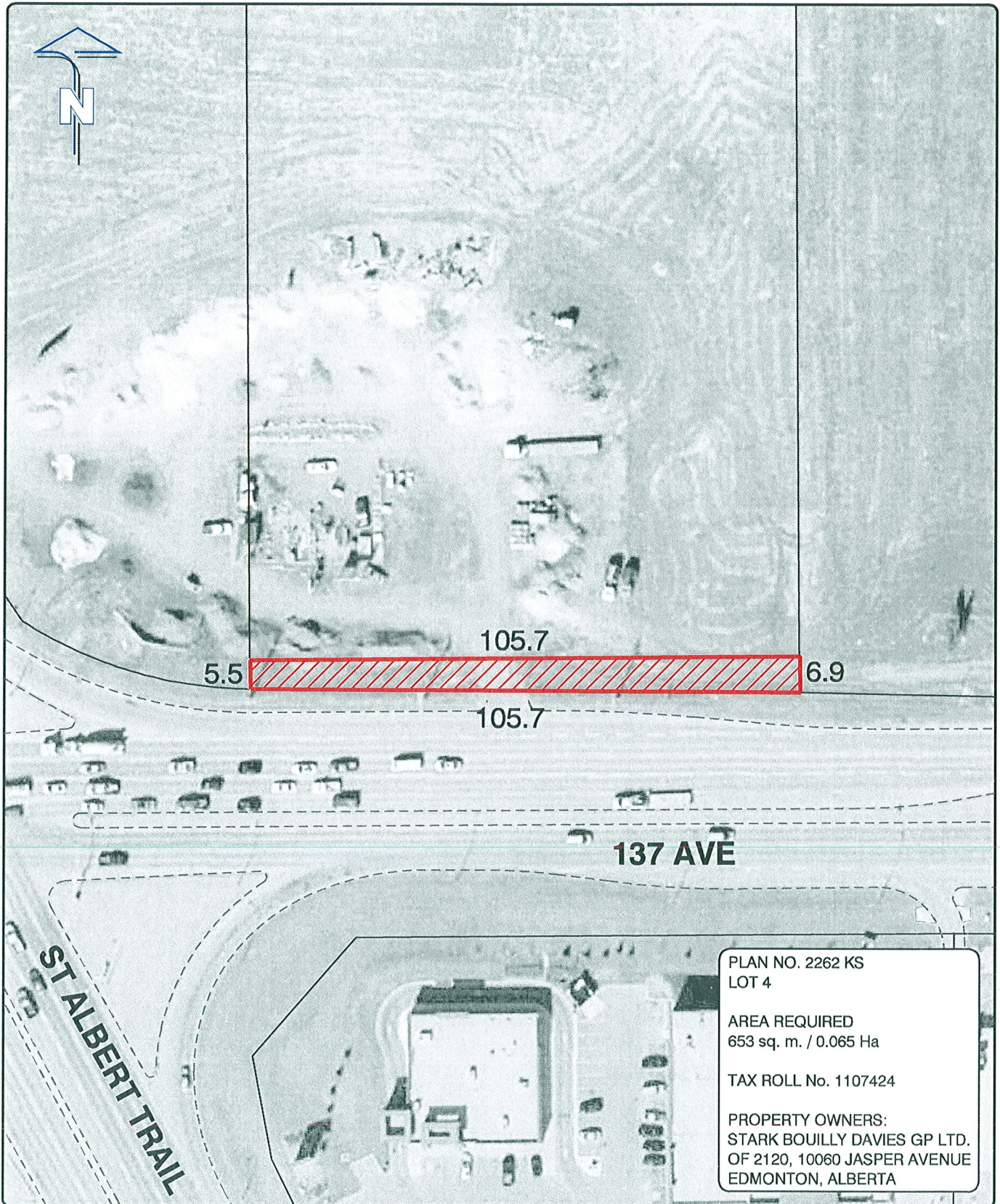
Registered Interests

Registration Number	Registration Type	Name
752 171 766	Caveat	Max Superstein
052 108 520	Zoning Regulations	Her Majesty The Queen in Right of Canada

Certificate of Title #	Estate	Registered Owner
062 495 640	Fee Simple	Stark Bouilly Davies GP Ltd. (undivided ½ interest)

Registered Interests

Registration Number	Registration Type	Name
752 171 766	Caveat	Max Superstein
052 108 520	Zoning Regulations	Her Majesty The Queen in Right of Canada



PLAN NO. 2262 KS
LOT 4

AREA REQUIRED
653 sq. m. / 0.065 Ha

TAX ROLL No. 1107424

PROPERTY OWNERS:
STARK BOUILLY DAVIES GP LTD.
OF 2120, 10060 JASPER AVENUE
EDMONTON, ALBERTA

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NO	REVISIONS	BY	DATE	APP'D	

GENERAL MANAGER OF TRANSPORTATION AND STREETS		DATE
MANAGER OF STREETS ENGINEERING		DATE
DIRECTOR OF ROADWAYS DESIGN		DATE
DRAWN SS	DATE 07/07/24	DESIGNED JH
SCALE 1:1000		CHECKED TW
0m 20m		DATE 07/07/24

		TRANSPORTATION DEPARTMENT STREETS ENGINEERING BRANCH
PROJECT		
137 AVENUE ST. ALBERT TRAIL INTERSECTION LAND REQUIREMENT		
DRAWING		
LAND 0512		

Legal Description, Interest To Be Acquired and Registered Interests In the Property

Property #3

Interest Being Acquired

An interest in fee simple together with all rights, titles, and interests in and to the lands and any other owner or person who has an interest in or possession of or occupation of the lands legally described as follows:

ALL THAT PORTION OF THE SOUTH EAST QUARTER OF SECTION TWENTY SIX (26) TOWNSHIP FIFTY THREE (53) RANGE TWENTY FIVE (25) WEST OF THE FOURTH MERIDIAN, DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTH EAST CORNER OF THE SAID QUARTER SECTION, THENCE WESTERLY ALONG THE SOUTHERN BOUNDARY THEREOF FOURTEEN HUNDRED AND NINETEEN (1419) FEET TO AN IRON POST, THENCE NORTHERLY AND PARALLEL TO THE EAST AND WEST BOUNDARY THEREOF TO THE NORTHERN BOUNDARY THEREOF TO AN IRON POST, THENCE EASTERLY AND ALONG THE NORTHERN BOUNDARY THEREOF TO THE NORTH CORNER THEREOF, THENCE SOUTHERLY ALONG THE EAST BOUNDARY TO THE POINT OF COMMENCEMENT EXCEPTING THEREOUT: A) THOSE PORTIONS DESCRIBED AS FOLLOWS: COMMENCING AT A POINT ON THE EAST BOUNDARY OF THE SAID QUARTER SECTION FOUR HUNDRED AND EIGHTY THREE (483) FEET NORTH OF THE SOUTHEAST CORNER THEREOF, THENCE NORTHERLY AND ALONG THE SAID EAST BOUNDARY A DISTANCE OF ELEVEN HUNDRED AND SEVENTY EIGHT (1178) FEET, THENCE WESTERLY AND PARALLEL TO THE SOUTHERN BOUNDARY THEREOF A DISTANCE OF SIX HUNDRED AND SIX (606) FEET, THENCE SOUTHERLY PARALLEL TO THE EAST BOUNDARY THEREOF A DISTANCE OF ELEVEN HUNDRED AND SEVENTY EIGHT (1178) FEET, THENCE EASTERLY AND PARALLEL TO THE SAID SOUTH BOUNDARY A DISTANCE OF SIX HUNDRED AND SIX (606) FEET, TO THE POINT OF COMMENCEMENT, CONTAINING 6.62 HECTARES (16.38 ACRES) MORE OR LESS B) 0.069 HECTARES (0.17 ACRES) MORE OR LESS, FOR WATER SUPPLY PURPOSES, AS SHOWN ON ROAD PLAN 4538KS C) 0.020 HECTARES (0.05 ACRES) MORE OR LESS, AS SHOWN ON ROAD PLAN 8322101.

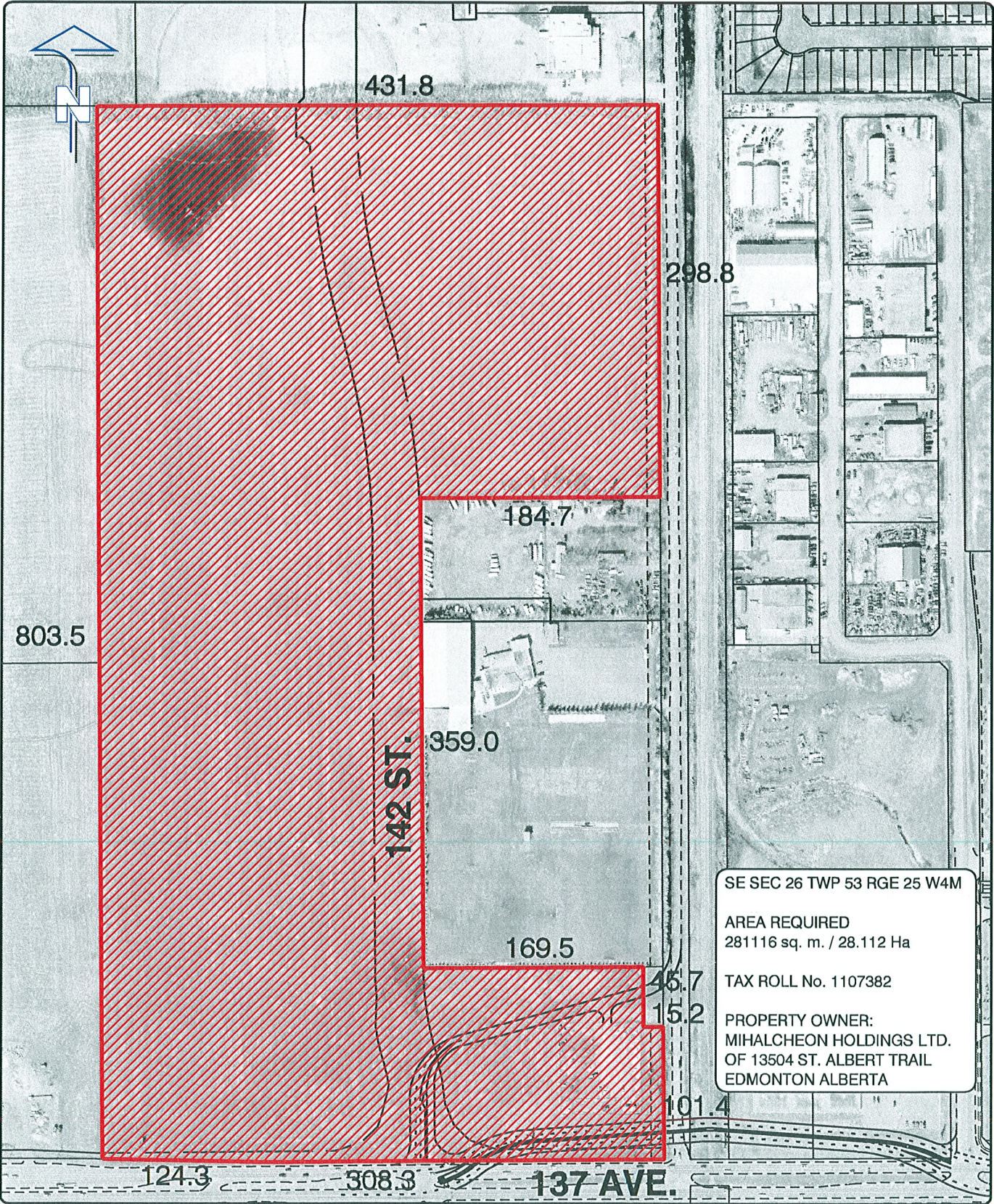
Containing 28.1 Hectares (69.40 Acres) More or Less as outlined in red on the plan attached hereto as Attachment 2-3, Page 3 of 3, excepting thereout all mines and minerals.

The property is registered in North Alberta Land Registration, Land Titles Office as follows:

Certificate of Title #	Estate	Registered Owner
952 290 413	Fee Simple	Mihalcheon Holdings Ltd.

Registered Interests

Registration Number	Registration Type	Name
5395EJ	Utility Right of Way	The City of Edmonton
577KY	Utility Right of Way	The City of Edmonton
5253LU	Utility Right of Way	The City of Edmonton
052 105 442	Zoning Regulations	Her Majesty The Queen in Right of Canada



SE SEC 26 TWP 53 RGE 25 W4M

AREA REQUIRED
281116 sq. m. / 28.112 Ha

TAX ROLL No. 1107382

PROPERTY OWNER:
MIHALCHEON HOLDINGS LTD.
OF 13504 ST. ALBERT TRAIL
EDMONTON ALBERTA

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NO	REVISIONS	BY	DATE	APPD	

GENERAL MANAGER OF TRANSPORTATION AND STREETS		DATE
MANAGER OF STREETS ENGINEERING		DATE
DIRECTOR OF ROADWAYS DESIGN		DATE
DRAWN SS	DATE 07/07/12	DESIGNED JH
SCALE 1:4000		CHECKED TW
0m 80m		DATE 07/07/12

THE CITY OF Edmonton		TRANSPORTATION DEPARTMENT STREETS ENGINEERING BRANCH
PROJECT 137 AVENUE 142 STREET TO 140 STREET GRADE SEPARATION LAND REQUIREMENT		
DRAWING LAND 0469		

Legal Description, Interest To Be Acquired and Registered Interests In the Property

Property #4

Interest Being Acquired

An interest in fee simple together with all rights, titles, and interests in and to the lands and any other owner or person who has an interest in or possession of or occupation of the lands legally described as follows:

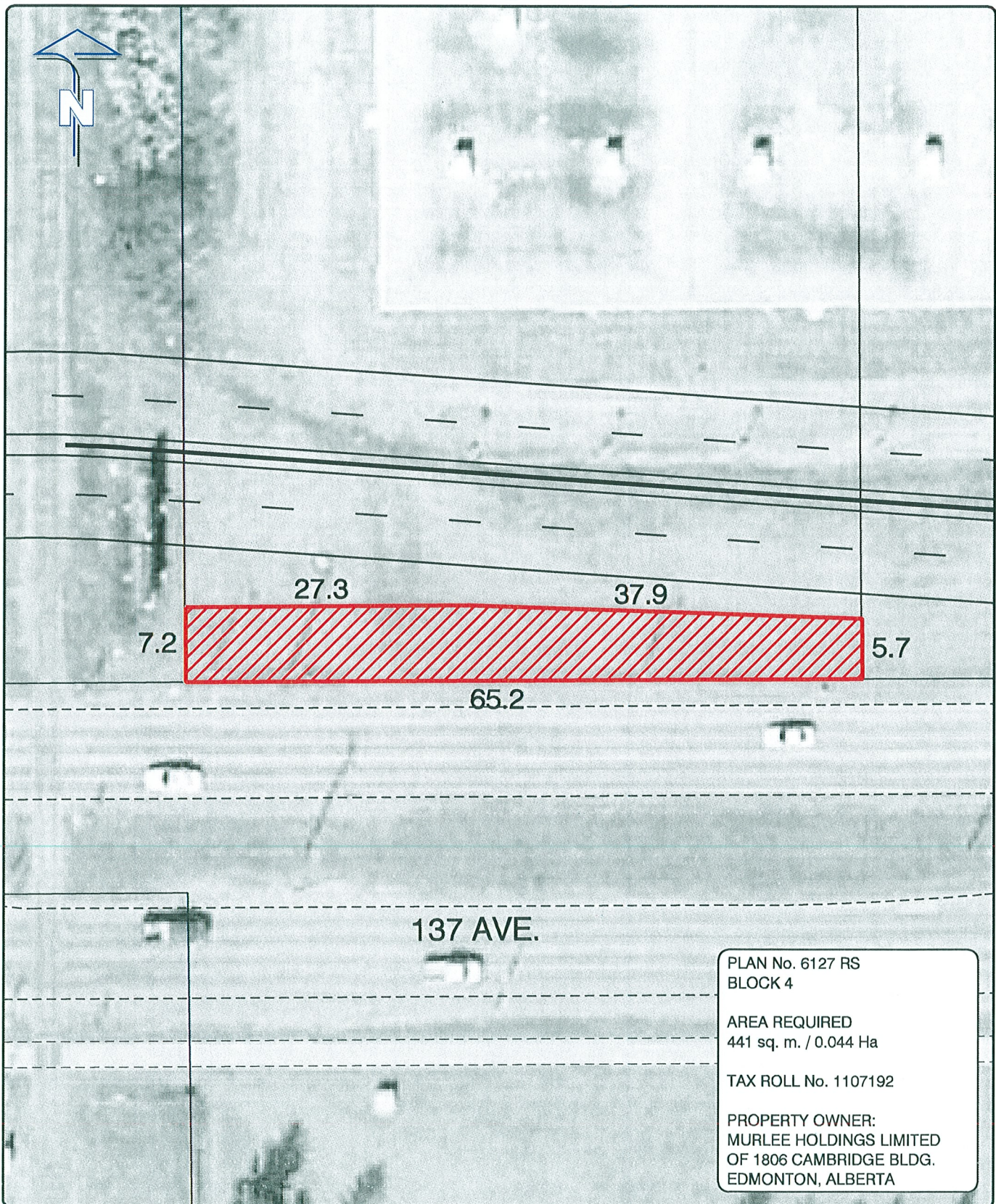
All of that portion of Block 4, Plan 6127RS containing 0.044 Ha. as outlined in red on the plan attached hereto as Attachment 2-4, Page 2 of 2, excepting thereout all mines and minerals.

The property is registered in North Alberta Land Registration, Land Titles Office as follows:

Certificate of Title #	Estate	Registered Owner
062 495 640	Fee Simple	Murlee Holdings Limited

Registered Interests

Registration Number	Registration Type	Name
752 092 683	Caveat	Leon's Furniture Limited
782 081 544	Utility Right of Way	The City of Edmonton
052 110 385	Zoning Regulations	Her Majesty the Queen in Right of Canada



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NO.	REVISIONS	BY	DATE	APPD

GENERAL MANAGER OF TRANSPORTATION AND STREETS		DATE
MANAGER OF STREETS ENGINEERING		DATE
DIRECTOR OF ROADWAYS DESIGN		DATE
DRAWN SS	DATE 07/02/12	DESIGNED JH
CHECKED TW		DATE 07/02/12

SCALE 1:500
0m 10m

		TRANSPORTATION DEPARTMENT STREETS ENGINEERING BRANCH
PROJECT 137 AVENUE 142 STREET TO 140 STREET GRADE SEPARATION LAND REQUIREMENT		
DRAWING LAND 0496		

Legal Description, Interest To Be Acquired and Registered Interests In the Property

Property #5**Legal Description**

PLAN 1422KS LOT (B) CONTAINING 6.54 HECTARES (16.18 ACRES) MORE OR LESS EXCEPTING THEREOUT: (A) 0.478 HECTARES (1.18 ACRES) MORE OR LESS SUBDIVIDED UNDER PLAN 6127RS (B) 0.142 HECTARES (0.35 ACRE) MORE OR LESS SUBDIVIDED UNDER PLAN 4246TR (C) ALL THAT PORTION SHOWN AS REGULATING STATION SITE ON RIGHT OF WAY PLAN 7521031

Interest Being Acquired

An interest in fee simple together with all rights, titles, and interests in and to the lands and any other owner or person who has an interest in or possession of or occupation of the lands legally described as follows:

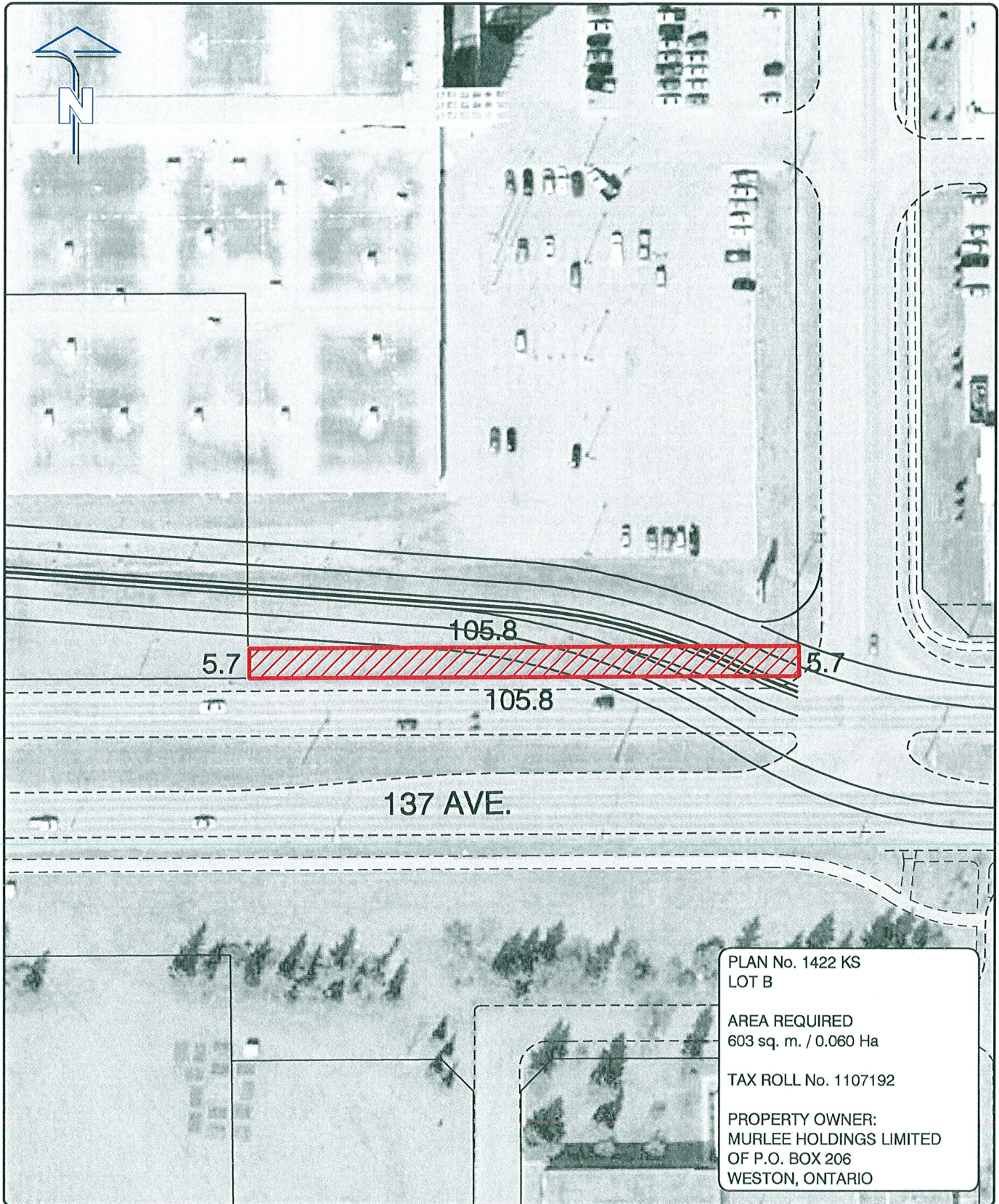
That portion of Lot B Plan 1422KS containing 0.060 Ha. as outlined in red on the plan attached hereto as Attachment 2-5, Page 2 of 2, excepting thereout all mines and minerals.

The property is registered in North Alberta Land Registration, Land Titles Office as follows:

Certificate of Title #	Estate	Registered Owner
224 Q 270	Fee Simple	Murlee Holdings Limited

Registered Interests

Registration Number	Registration Type	Name
752 092 683	Caveat	Leon's Furniture Limited
782 081 384	Utility Right of Way	The City of Edmonton
052 108 697	Zoning Regulations	Her Majesty The Queen in Right of Canada
062 531 463	Utility Right of Way	ATCO Gas and Pipelines Ltd.



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NO.	REVISIONS	BY	DATE	APPD

GENERAL MANAGER OF TRANSPORTATION AND STREETS		DATE
MANAGER OF STREETS ENGINEERING		DATE
DIRECTOR OF ROADWAYS DESIGN		DATE
DRAWN SS	DATE 07/02/12	DESIGNED JH
SCALE 1:1000		CHECKED TW
0m 20m		DATE 07/02/12

		TRANSPORTATION DEPARTMENT STREETS ENGINEERING BRANCH
PROJECT 137 AVENUE 142 STREET TO 140 STREET GRADE SEPARATION LAND REQUIREMENT		
DRAWING LAND 0495		

Legal Description, Interest To Be Acquired and Registered Interests In the Property

Property #6**Interest Being Acquired**

An interest in fee simple together with all rights, titles, and interests in and to the lands and any other owner or person who has an interest in or possession of or occupation of the lands legally described as follows:

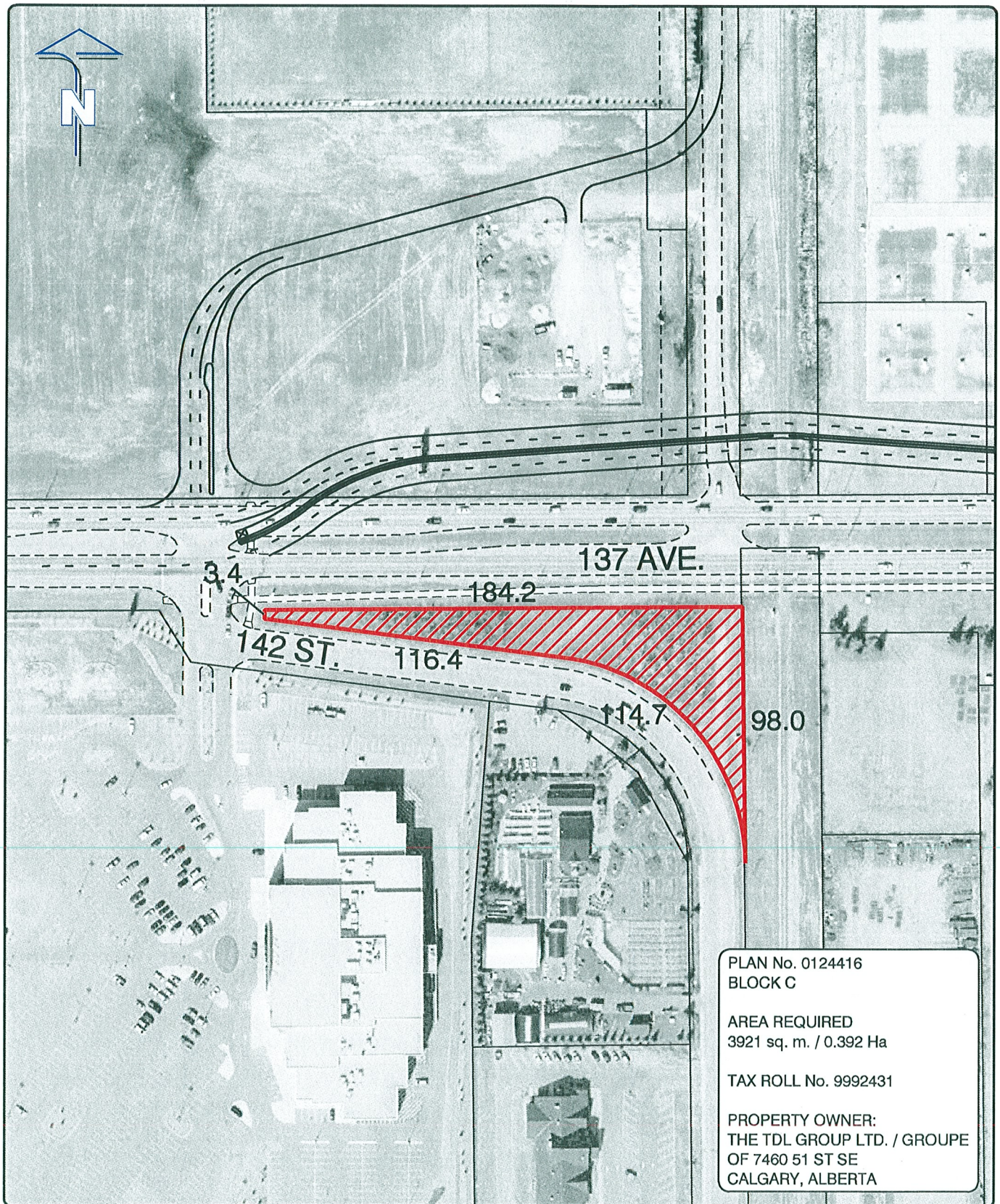
That portion of Block C, Plan 0124416 containing 0.392 Ha. as outlined in red on the plan attached hereto as Attachment 2-6, Page 2 of 2, excepting thereout all mines and minerals.

The property is registered in North Alberta Land Registration, Land Titles Office as follows:

Certificate of Title #	Estate	Registered Owner
022 477 301	Fee Simple	The TDL Group Ltd. /Groupe TDL Ltee.

Registered Interests

Registration Number	Registration Type	Name
012 307 505	Utility Right of Way	EPCOR Distribution Inc.
012 307 506	Utility Right of Way	EPCOR Water Services Inc.
012 307 507	Utility Right of Way	The City of Edmonton
052 107 185	Zoning Regulations	Her Majesty The Queen in Right of Canada



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NO.	REVISIONS	BY	DATE	APPD

GENERAL MANAGER OF TRANSPORTATION AND STREETS		DATE
MANAGER OF STREETS ENGINEERING		DATE
DIRECTOR OF ROADWAYS DESIGN		DATE
DRAWN SS	DATE 07/04/25	DESIGNED JH
		DATE 07/04/25
SCALE 1:2000		CHECKED TW
0m 10m		DATE 07/04/25

		TRANSPORTATION DEPARTMENT STREETS ENGINEERING BRANCH
PROJECT		
137 AVENUE 142 STREET TO 140 STREET GRADE SEPARATION LAND REQUIREMENT		
DRAWING		
LAND 0503		

Legal Description, Interest To Be Acquired and Registered Interests In the Property

Property #7**Interest Being Acquired**

An interest in fee simple together with all rights, titles, and interests in and to the lands and any other owner or person who has an interest in or possession of or occupation of the lands legally described as follows:

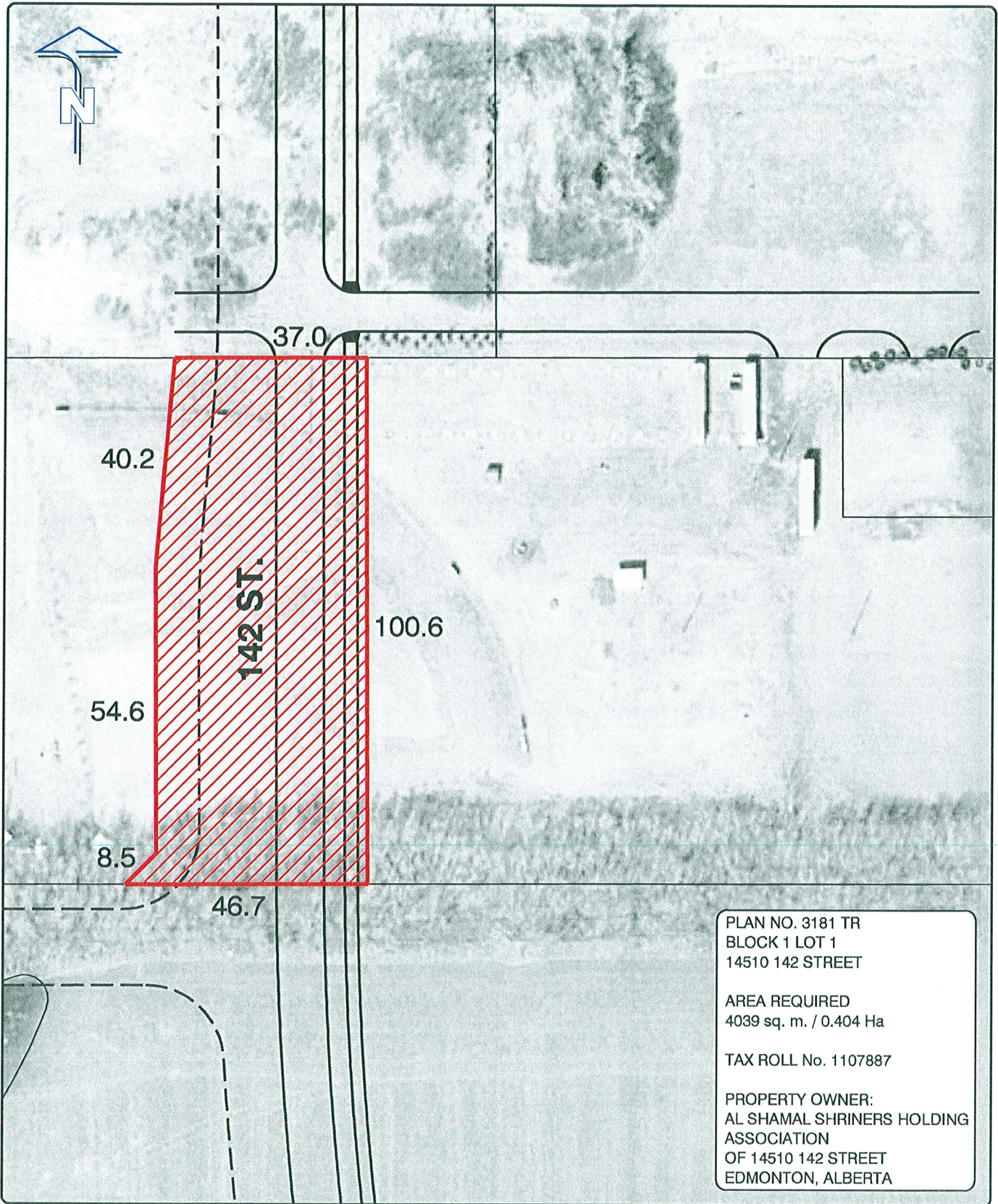
That portion of Lot 1, Block 1, Plan 3181TR containing 0.404 Ha. as outlined in red on the plan attached hereto as Attachment 2-7, Page 2 of 2, excepting thereout all mines and minerals.

The property is registered in North Alberta Land Registration, Land Titles Office as follows:

Certificate of Title #	Estate	Registered Owner
032 113 069	Fee Simple	Al Shamal Shriners Holding Association

Registered Interests

Registration Number	Registration Type	Name
5295UG	Utility Right of Way	The City of Edmonton
052 109 192	Zoning Regulations	Her Majesty The Queen in Right of Canada



PLAN NO. 3181 TR
BLOCK 1 LOT 1
14510 142 STREET

AREA REQUIRED
4039 sq. m. / 0.404 Ha

TAX ROLL No. 1107887

PROPERTY OWNER:
AL SHAMAL SHRINERS HOLDING
ASSOCIATION
OF 14510 142 STREET
EDMONTON, ALBERTA

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NO.	REVISIONS	BY	DATE	APP'D

GENERAL MANAGER OF TRANSPORTATION AND STREETS		DATE
MANAGER OF STREETS ENGINEERING		DATE
DIRECTOR OF ROADWAYS DESIGN		DATE
DRAWN SS	DATE 06/10/02	DESIGNED JH
CHECKED TW		DATE 06/10/02

SCALE 1:1000
0m 20m



TRANSPORTATION DEPARTMENT
STREETS ENGINEERING BRANCH

PROJECT
137 AVENUE WIDENING
142 STREET
LAND REQUIREMENT

DRAWING
LAND 0470

Legal Description, Interest To Be Acquired and Registered Interests In the Property

Property #8

Interest Being Acquired

An interest in fee simple together with all rights, titles, and interests in and to the lands and any other owner or person who has an interest in or possession of or occupation of the lands legally described as follows:

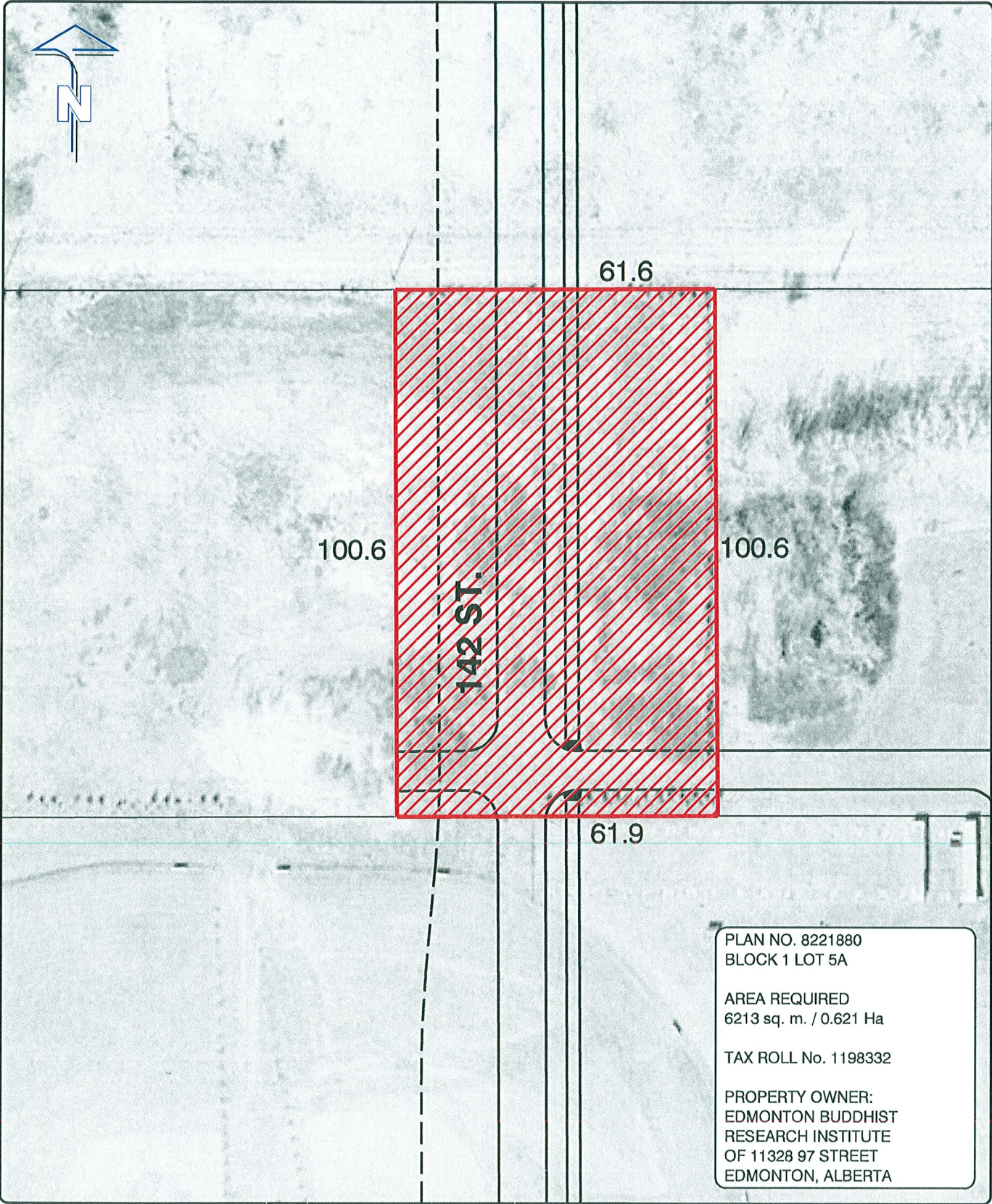
That portion of Lot 5A, Block 1, Plan 8221880 containing 0.621 Ha. as outlined in red on the plan attached hereto as Attachment 2-8, Page 2 of 2, excepting thereout all mines and minerals.

The property is registered in North Alberta Land Registration, Land Titles Office as follows:

Certificate of Title #	Estate	Registered Owner
072 192 005	Fee Simple	Edmonton Buddhist Research Institute

Registered Interests

Registration Number	Registration Type	Name
822 153 020	Easement	-
042 447 179	Mortgage	Canadian Imperial bank of Commerce
052 110 828	Zoning Regulations	Her Majesty The Queen in Right of Canada



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NO.	REVISIONS	BY	DATE	APPD

GENERAL MANAGER OF TRANSPORTATION AND STREETS		DATE
MANAGER OF STREETS ENGINEERING		DATE
DIRECTOR OF ROADWAYS DESIGN		DATE
DRAWN SS	DATE 06/10/02	DESIGNED JH
SCALE 1:1000		CHECKED TW
0m 20m		DATE 06/10/02

		TRANSPORTATION DEPARTMENT STREETS ENGINEERING BRANCH
PROJECT 137 AVENUE WIDENING 142 STREET LAND REQUIREMENT		
DRAWING LAND 0480		

Legal Description, Interest To Be Acquired and Registered Interests In the Property

Property #9**Legal Description**

PLAN 2648MC

POWER LINE RIGHT OF WAY WITHIN MERIDIAN 4 RANGE 25 TOWNSHIP 53
COMPRISING PARTS OF:

REFERENCE

TITLES	SECTION	HECTARES	(ACRES) MORE OR LESS
133Y192	PT. N.W. 18	2.60	6.42
132Y192	S.W. 19	0.534	1.32
132Y192A	S.E. 19	3.29	8.14
135Y192	N.E. 19	1.47	3.63
209N188	N.W. 20	2.21	5.45
20R188	N.W. 26	0.279	0.69
130Y192	PT. N.E. 27	1.05	2.59
115S188	PT. N.E. 27	1.68	4.15 (PLAN 5600KS BLK 5 LOT A)
115S188A	PT. N.W. 27	2.93	7.23 (PLAN 5600KS BLK 5 LOT B)
237I198	S.W. 35	2.12	5.25
131Y192	S.E. 35	2.95	7.29
123E199	S.E. 36	2.95	7.28

EXCEPTING THEREOUT:

	SECTION	HECT.(ACRES) MORE OR LESS
A) PLAN 1707LZ - ROAD	N.E. 27	0.069 0.17
B) PLAN 7720787 - ROAD	N.W. 27	0.045 0.11 (115S188A)
C) PLAN 8223194 - ROAD	N.E. 27	0.247 0.61
D) PLAN 8821468 - FILED	S.E. 36	0.043 0.11
(AREA C - ROAD RIGHT OF WAY)		
E) PLAN 0022054 SUBDIVISION	S.E. 36	0.094 0.232
(ROAD)		

Interest Being Acquired

An interest in fee simple together with all rights, titles, and interests in and to the lands and any other owner or person who has an interest in or possession of or occupation of the lands legally described as follows:

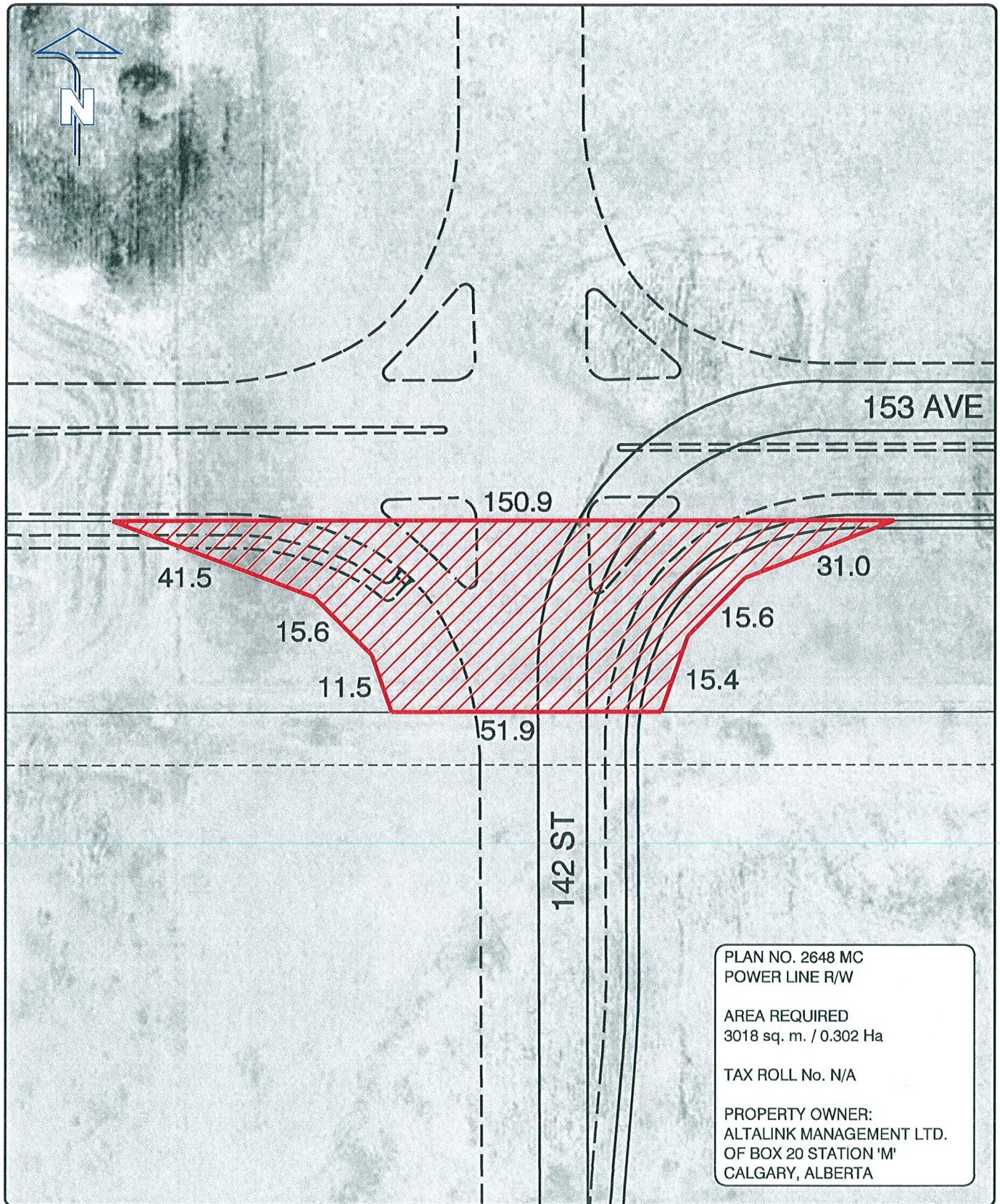
All of that portion of Plan 2648 MC, within SE 35-53-25-4, containing 0.302 Ha. as outlined in red on the plan attached hereto as Attachment 2-9, Page 3 of 3, excepting thereout all mines and minerals.

The property is registered in North Alberta Land Registration, Land Titles Office as follows:

Certificate of Title #	Estate	Registered Owner
022 203 364	Fee Simple	Altalink Management Ltd.

Registered Interests

Registration Number	Registration Type	Name
752 114 183	URW	Atco Gas and Pipelines
852 206 894	URW	Altalink
052 108 733	Zoning Regulations	HMQ in Right of Canada
072 316 234	URW	Epcor Distributions and Transmission Inc.



PLAN NO. 2648 MC
POWER LINE R/W

AREA REQUIRED
3018 sq. m. / 0.302 Ha

TAX ROLL No. N/A

PROPERTY OWNER:
ALTALINK MANAGEMENT LTD.
OF BOX 20 STATION 'M'
CALGARY, ALBERTA

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NO.	REVISIONS	BY	DATE	APPD

GENERAL MANAGER OF TRANSPORTATION AND STREETS		DATE
MANAGER OF STREETS ENGINEERING		DATE
DIRECTOR OF ROADWAYS DESIGN		DATE
DRAWN SS	DATE 07/08/03	DESIGNED JH
CHECKED TW		DATE 07/08/03

SCALE 1:2000

0m 40m

		TRANSPORTATION DEPARTMENT STREETS ENGINEERING BRANCH
PROJECT		
137 AVENUE WIDENING 142 STREET LAND REQUIREMENT		
DRAWING		
LAND 0487		