

Bylaw 14711

A Bylaw to amend Bylaw 12800, as amended,  
The Edmonton Zoning Bylaw  
Amendment No. 854

WHEREAS Lot 12A, Block 24, Plan 922 1629, located north of 87 Avenue NW and west of 117 Street NW, Windsor Park, Edmonton, Alberta, is specified on the Zoning Map as (CNC) Neighbourhood Convenience Commercial Zone; and

WHEREAS an application was made to rezone the above described property to (DC2) Site Specific Development Control Provision;

NOW THEREFORE after due compliance with the relevant provisions of the Municipal Government Act RSA 2000, ch. M-26, as amended, the Municipal Council of the City of Edmonton duly assembled enacts as follows:

1. The Zoning Map, being Part III to Bylaw 12800 The Edmonton Zoning Bylaw is hereby amended by rezoning the lands legally described as Lot 12A, Block 24, Plan 922 1629, located north of 87 Avenue NW and west of 117 Street NW, Windsor Park, Edmonton, Alberta, which lands are shown on the sketch plan annexed hereto as Schedule "A", from (CNC) Neighbourhood Convenience Commercial Zone to (DC2) Site Specific Development Control Provision.
2. The uses and regulations of the aforementioned DC2 Provision are annexed hereto as Schedule "B".

3. The sketch plan annexed hereto as Schedule "A" and the uses and regulations of the DC2 Provision shown on Schedule "B" annexed hereto are hereby incorporated into the Zoning Bylaw, being Part IV to Bylaw 12800, The Edmonton Zoning Bylaw.

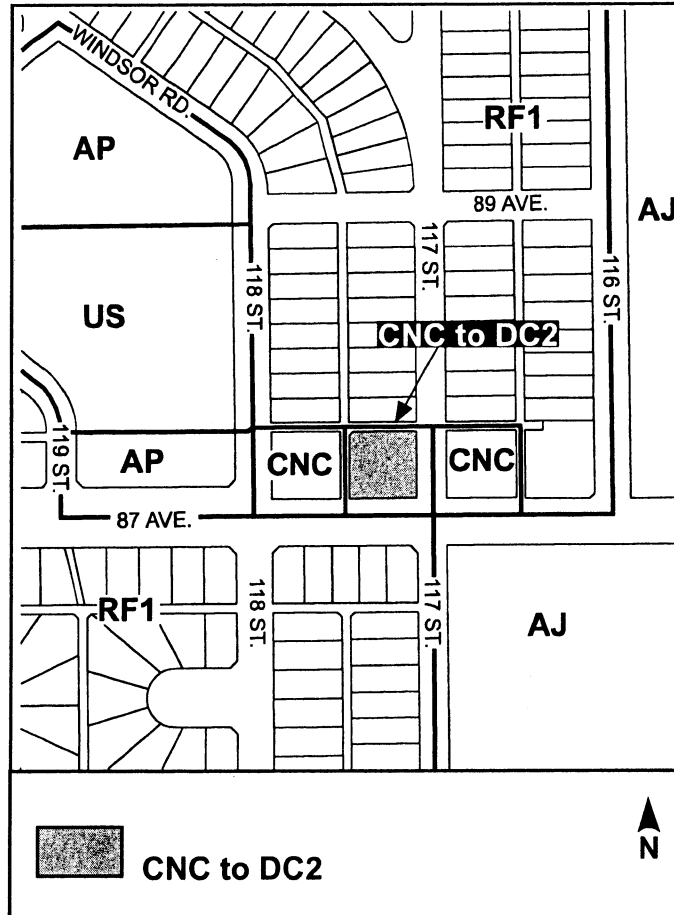
READ a first time this	26 <sup>th</sup>	day of	March	, A. D. 2008;
READ a second time this	26 <sup>th</sup>	day of	March	, A. D. 2008;
READ a third time this	26 <sup>th</sup>	day of	March	, A. D. 2008
SIGNED and PASSED this	26 <sup>th</sup>	day of	March	, A. D. 2008.

THE CITY OF EDMONTON

  
MAYOR

  
A/CITY CLERK

BYLAW 14711



**(DC2) SITE SPECIFIC DEVELOPMENT CONTROL PROVISION****1. General Purpose**

To develop a four storey low rise apartment building that will ensure compatibility with adjacent land uses, achieve a high standard of appearance and enhance the pedestrian friendly streetscape.

**2. Area of Application**

Lot 12A, Block 24, Plan 9221629, located at 11702 – 87 Avenue NW, Windsor Park, as shown on Schedule A of this Bylaw adopting this Provision.

**3. Uses**

- a. Apartment Housing
- b. Minor Home Based Business
- c. Residential Sales Centre
- d. Temporary on premises Signs

**4. Development Regulations**

- a. Development shall be in accordance with Appendix I, Site Plan; Appendix Ia, Fourth Floor Plan; Appendix II, Elevations; Appendix III, Section Plan; Appendix IV, Parking Layout; and Appendix V, Landscape Concept/Detail.
- b. The maximum number of Dwellings shall not exceed 38 (maximum Density of 188 Dwellings/hectare).
- c. The maximum Floor Area Ratio shall not exceed 2.3.
- d. The maximum Height shall not exceed 14.0 m nor 4 storeys.
- e. The minimum Front Yard along 87 Avenue shall be 6.0 m. Exterior wall projections shall be allowed to project up to 3.0 metres into the Front Yard and shall be in accordance with Appendix I (Site Plan).
- f. The minimum Rear Yard shall be 7.5 m. Exterior wall projections shall be allowed to project up to 3.8 metres into the Rear Yard and shall be in accordance with Appendix I (Site Plan).
- g. The minimum Side Yards shall be 4.5 m. Exterior wall projections shall be allowed to project up to 3.0 metres into the Side Yards and shall be in accordance with Appendix I (Site Plan).

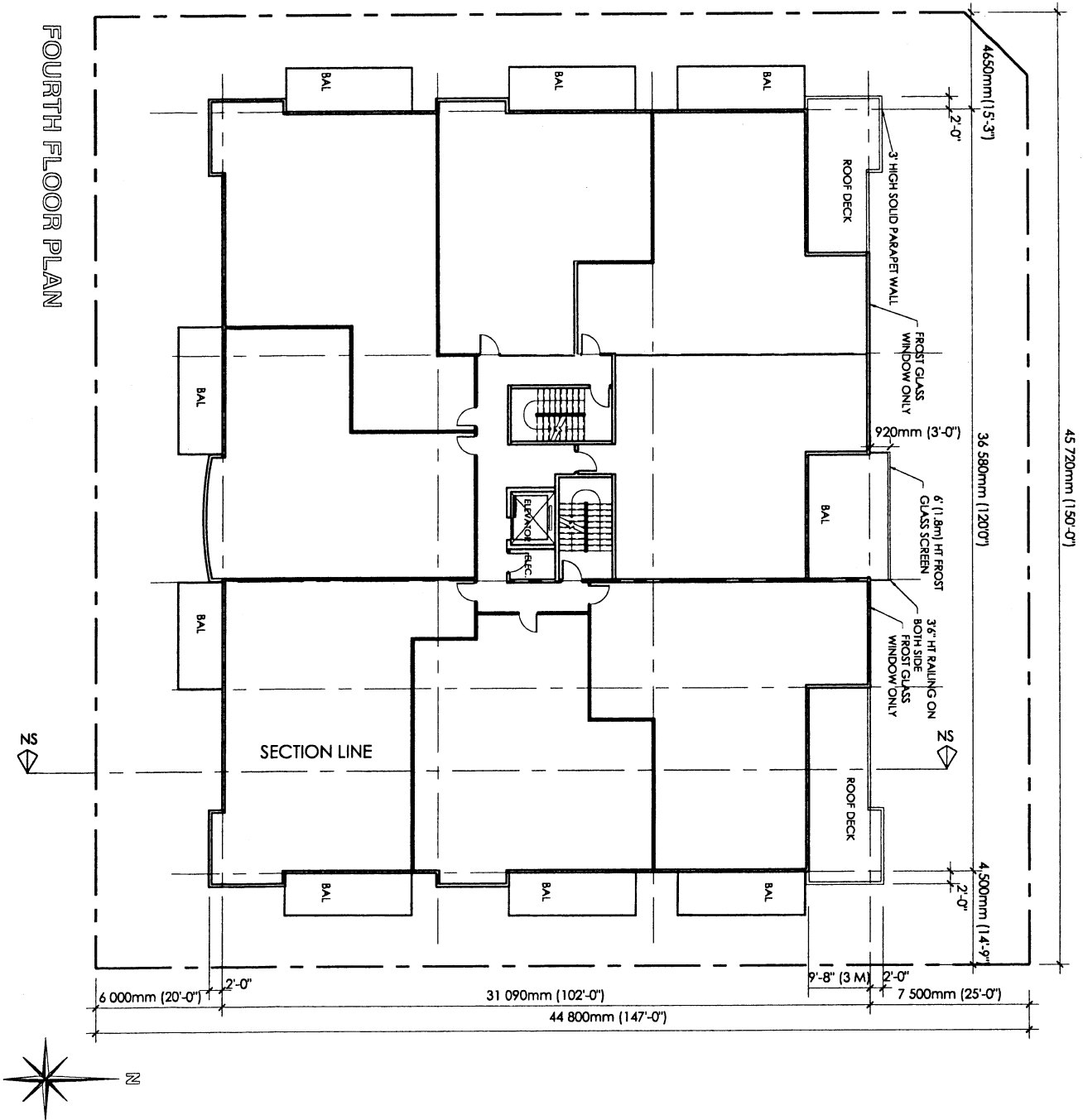
- h. A detailed Landscape Plan for the Site and for the roof decks shall be submitted by a registered landscape architect for review by Parks Design and Construction, in accordance with the Landscape Concept (Appendix V) and Section 55 of the Edmonton Zoning Bylaw 12800, prior to the approval of any Development Permit, to the satisfaction of the Development Officer. The plan shall include pavement materials, exterior lighting, street furniture elements, pedestrian seating area, sizes and species of new tree plantings, mature trees which are to be retained, confirmation of adequate depth for tree growth and other landscaping elements as applicable. Landscaping on this Site shall consider the use of plant materials that provide colour throughout the year to enhance the appearance of the development during cold weather months.
- i. Boulevard trees landscaping shall be provided on 87 Avenue to the satisfaction of the Planning and Development Department, Asset Management & Public Works and the Transportation Department. Detailed Landscaping Plans, including all existing and proposed utilities within the road-right-of-way must be submitted with the Development Permit application for review and approval by the Planning and Development Department, Asset Management & Public Works and the Transportation Department.
- j. A minimum Amenity Area of 7.5 m<sup>2</sup> per Dwelling shall be provided.
- k. Minor Home Based Businesses shall be developed in accordance with Section 74 of the Zoning Bylaw.
- l. Temporary Signs, including portable Signs of a freestanding nature shall comply with the regulations in schedule 59B of the Zoning Bylaw.
- m. A Crime Prevention Through Environmental Design Assessment shall be reviewed and approved by the Development Officer to ensure that development on the Site provides a safe urban environment in accordance with the guidelines and principles established in the Design Guide for a Safer City.
- n. Vehicular access to the Site shall be provided to the satisfaction of the Development Officer in consultation with the Transportation Department, and shall be as follows:
  - i. The underground driveway ramp must not exceed a slope of 6% for a minimum distance of 4.5 m from the property line and the ramp must be at grade at the property line;
  - ii. Any underground parking access card devices must be located on site, a minimum of 3.0 m inside the property line; and

- iii. The proposed retaining walls shall not exceed a height of 0.3 m at the property line and the wall shall not encroach onto road right-of-way.
- iv. Repair of any damage to the abutting roadways, sidewalks and/or boulevards resulting from construction of the development, to the satisfaction of the Transportation Department. The site must be inspected by the Transportation Department prior to the start of construction and once again when construction is complete.
- o. No parking, loading, storage, trash collection, outdoor service or display area shall be permitted within a required yard with the exception of loading, visitor parking, and trash collection which shall be incorporated along the west and north west corner of the building and screened from view from adjacent streets in accordance with Section 54 of the Edmonton Zoning Bylaw.
- p. Secure indoor resident Bicycle Parking and outdoor visitor Bicycle Parking shall be provided for the development. The number of Bicycle Parking stalls and their location shall be to the satisfaction of the Development Officer in consultation with the Transportation Department.
- q. Soil samples to test for hydrocarbon contamination shall be collected by the owner of this Site along the west boundary of the property and shall be to the satisfaction of the Development Officer in consultation with Capital Health, the Transportation Department and Alberta Environment.
- r. The underground parkade shall be constructed in general accordance with Appendix IV Parking Layout. This will include the provision of a liner being located along the western boundary of the underground parkade. Verification of the proper installation of liner to prevent off-site contamination from entering the subject site shall be provided to the Development Officer in consultation with Capital Health, the Transportation Department and Alberta Environment.
- s. Development shall be in accordance with the following architectural regulations, to the satisfaction of the Development Officer:
  - i. Architectural treatment of all facades of the building shall create a unified building exterior;
  - ii. The development shall utilize concrete and steel building construction;
  - iii. The finishing of the development shall consist of high quality, durable materials such as glass and glazed windows, brick, stone, and acrylic stucco; vinyl siding shall not be used for exterior finishing;

- iv. Acrylic stucco as a finishing material shall be limited to a maximum of 45% of the exterior surface area of the development;
- v. All material equipment on a roof of any building shall be concealed by screening in manner compatible with the architectural character of the building, or concealed by incorporating it within the building. Air exhaust from the underground parkade shall be located near the south west side of the building;
- vi. A minimum of 2/3 of the fourth Storey facing the Rear Lot Line shall have its exterior walls stepped back from the face of the third floor by 3.0 m. No clear glazing shall be allowed on Lane-facing windows in exterior walls not stepped back from the third floor on the north elevation. The areas created by the setback as indicated in Appendix Ia, Fourth Floor Plan; Appendix II, Elevations; and, Appendix III, Section Plan, shall have a solid parapet wall of 1.0 m minimum height and shall not be used as outdoor patios. The fourth Storey balcony facing the Rear Lot Line shall have a 1.8 m high frosted glass screen facing the Rear Lot Line and a minimum 0.9 m extension over the third floor roof line comprised of transparent material to a height of 1.1 m in accordance with Appendix Ia, Fourth Floor Plan;
- vii. Development shall create an active frontage along 117 Street with individual entrances that are clearly visible from the public roadway to lend a sense of occupancy to the street. Additional landscaping, including low decorative metal fencing, decorative signage, planters, low landscaping lights and coloured paving walkways to individual units to create an attractive pedestrian environment and mitigate the perceived massing of the building along 117 Street shall be provided in accordance with the Site Plan and elevations as illustrated in Appendix I and Appendix II;
- viii. The main building entrance shall be designed for universal accessibility. Level changes from the sidewalk to the entrance of the building shall be minimized. Sidewalk furniture and other elements shall be located out of the travel path to ensure they are not obstacles to building access; and
- ix. Development on this site should utilize infrastructure practices and site design that reduce the consumption of water, energy and materials consistent with Leadership in Energy and Environmental Design (LEED) Certification.

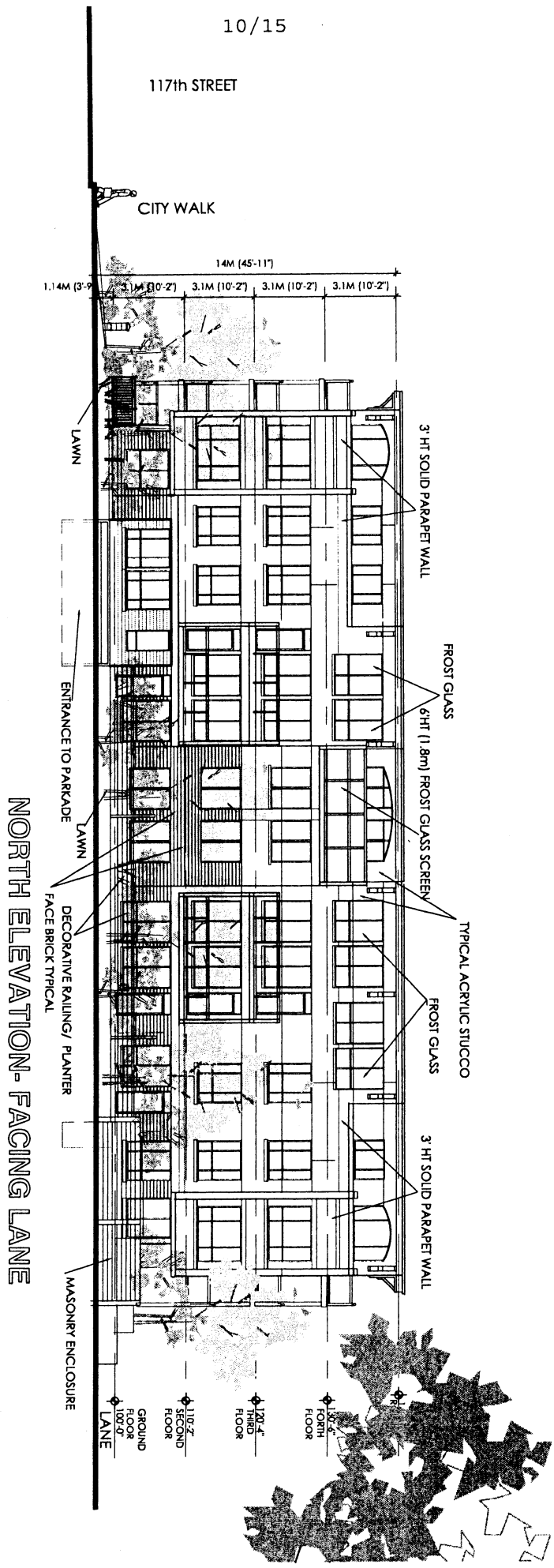






APPENDIX II Elevation

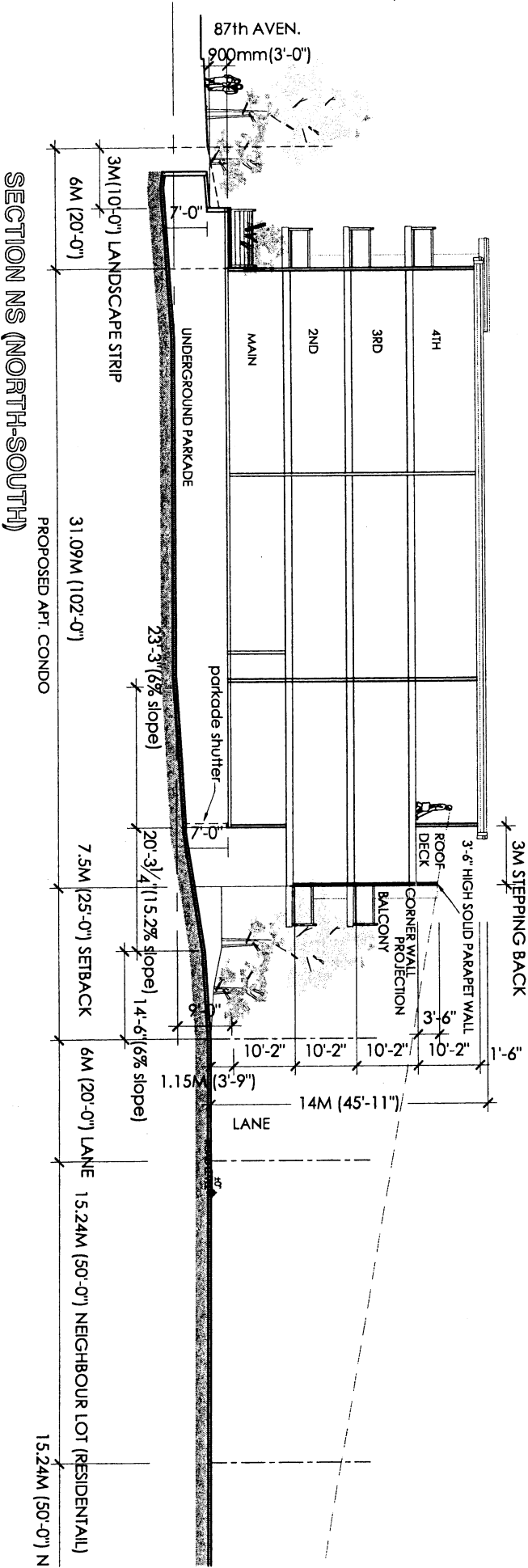
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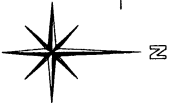


1.40 S  
ROOF



APPENDIX III Section

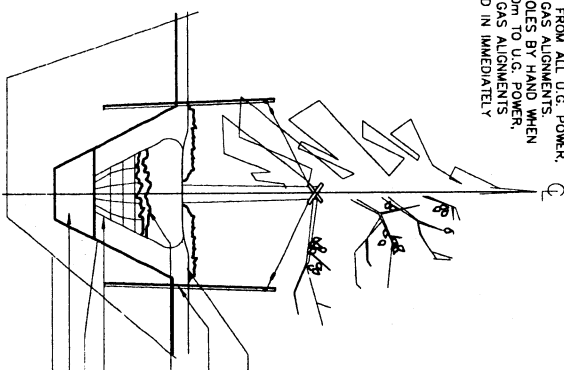






APPENDIX V Landscape Detail

- 1. POSITION TREE STAKES INTO DIRECTION OF PREVAILING WINDS.
- 2. ALL TREE STAKES TO MAINTAIN MINIMUM 1.0m CLEARANCE FROM ALL U.G. POWER, TELEPHONE AND GAS ALIGNMENTS.
- 3. DIE-AL ROOT HOLES BY HAND WHEN CLOSE TO ANY U.G. POWER, TELEPHONE AND GAS ALIGNMENTS.
- 4. SOAK PLANT BED IN IMMEDIATELY AFTER PLANTING.



PRUNE ONLY DEAD, BROKEN, OR DISEASED TREE LIMBS.

BLACK RUBBER HOSE 12 MM OR APPROVED EQUAL POSITIONED ABOVE FIRST STRONG BRANCHES OF CONIFEROUS TREES AND APPROX. 3/5 HT.

GALVANIZED GUY WIRE, NO.12 MINIMUM

2. STAKES PER TREE: ALL EXPOSED PORTIONS OF STAKES TREE OF MUST BE SANDED AND ROUNDED TO MINIMUM 200 MM LENGTH

STUDDED HEAVYWEIGHT METAL "T"-BAR TREE STAKE SET MIN. 300mm INTO UNDISTURBED SOIL. TOP 300mm OF ALL TREE STAKES PAINTED TO MATCH ANNUAL COLOUR CODES. ANGLE STAKES AT Z.

50 MM MINIMUM DECIDUOUS WOOD CHIP MULCH OR APPROVED EQUAL OVER EXPOSED ROOTBALL. TAPER MULCH TO BASE OF TREE.

CANADA NO.1 SEED MIX OVER 150 MM ROLLED AND COMPACTED CLASS 'B' TOPSOIL.

TREE STAKE SET MINIMUM 300 MM INTO UNDISTURBED SOIL.

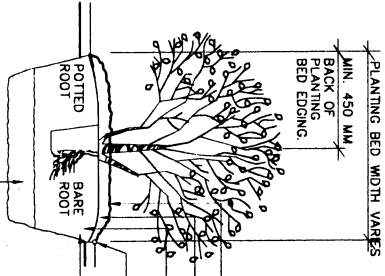
CUT WIRE, BASKET AND BURLAP TO EXPOSE 3/5 TOP OF ROOTBALL. POSITION TOP OF ROOTBALL MINIMUM 150 MM ABOVE GRADE. REMOVE CUT BASKET AND BURLAP FROM ROOT HOLE.

ROOTBALL MINIMUM SIZE AS PER SPECIFICATIONS. SCARIFY WALL OF TREE WELL.

CLASS 'B' TOPSOIL, LIGHTLY COMPACTED. UNDISTURBED NATIVE SOILS

Typical Tree Planting Detail

PLANT MATERIAL LIST			
CODE	BOTANICAL NAME	COMMON NAME	QTY
A	Picea pungens	COLORADO SPRUCE	4
B	Tilia x flavescens 'Droptmore'	DROPTMORE LINDEN	6
C	Quercus macrocarpa	BURR OAK	1
D	Pinus contorta latifolia	LODGEPOLE PINE	1
E	Acer ginnala	AMUR MAPLE	4
F	Syrnca reticulata	JAPANESE TREE LILAC	1
H	Pinus pennsylvanica	PINCHERRY	3
J	Symphoncarpos albus	SNOWBERRY	32
K	Caragana pygmaea	PRYGMY CARAGANA	15
L	Picea pungens globosa	DWARF GLOBE SPRUCE	21
M	Pinus mugo	MUGHO PINE	7
N	Aegopodium podagrana	GOUTWEED	20



NOTE: CONTRACTOR SHALL EXCAVATE SHRUB BED TO 150mm TO SHRUB BED LIMITS AS SHOWN ON DRAWINGS

NOTES:

1. PRUNE ONLY DEAD, BROKEN OR DISEASED BRANCHES TO MAINTAIN PROPER SHRUB FORM. DECIDUOUS ONLY.

2. DO NOT ROTOTILL WITHIN 1.0M OF U.G. POWER, TELEPHONE & GAS ALIGNMENTS

3. LANDSCAPE WEED LINER PRIOR TO EXCAVATION FOR SHRUB. CUT WEED LINER AT 120" INTERVALS FROM CENTER OF PROPOSED SHRUB LOCATION. ROLL WEED LINER BACK BEYOND LIMITS OF ROOTBALL AND PLANT SHRUB. ROLL WEED LINER BACK, WATER IN AND MULCH AS REQUIRED.

CONIFEROUS OR DECIDUOUS SHRUB.

50 MM DECIDUOUS WOOD CHIP MULCH OR APPROVED EQUAL TAPER MULCH TO BASE OF SHRUB

LANDSCAPE WEED LINER

300mm MIN. DEPTH LIGHTLY COMPACTED CLASS 'B' TOPSOIL

POLYETHYLENE LANDSCAPE EDGING, MINIMUM 150 MM DEPTH.

ROTOTILL 150 MM. ADD TOPSOIL. LANDSCAPE ARCHITECT'S DIRECTION. SPREAD ROOTS EVENLY THROUGHOUT CLASS B TOPSOIL. PRUNE ALL DAMAGED ROOTS

CLASS B TOPSOIL IN PLANTER CONDITION ONLY

Typical Shrub Planting Detail

- LANDSCAPING TO COMPLY WITH CITY ZONING REQUIREMENTS			
BASE ON EDMONTON ZONING BY-LAW 12800-55 LANDSCAPING TOTAL REQUIRED YARDS = 10 040.5 FT. SQ. (150'X20'+150'X25'+102'X149'+102'X18')			
REQ'D PROVIDED DECIDUOUS EVERGREEN TREES			
NO. OF TREES	27	30	15
NO. OF SHRUBS	62	72	49
GROUND COVER	20		38