

LARIX Development Limited

MAGRATH HEIGHTS NEIGHBOURHOOD AREA STRUCTURE PLAN AMENDMENT

NASP

JUNE 2008

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1.0 INTRODUCTION

This document describes an amendment to the Magrath Heights Neighbourhood Area Structure Plan (NASP) located in southwest Edmonton as illustrated within **Figure 1**. The Magrath Heights NASP was approved by City of Edmonton Council in December 2003 by Bylaw 13559 and has subsequently been amended by Bylaw 13995 in May 2005. The approved NASP for this Area is presented in **Figure 2**.

This plan amendment has been prepared on behalf of Larix Development Limited by IBI Group. Larix Development Limited is the registered landowner of the lands that are the subject of this amendment.

1.1 Purpose of Amendment

The purpose of this amendment is as follows:

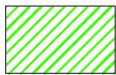
- To delete the stormwater management facility (SWMF) on the south portion of the Larix land and expand the SWMF on the north portion;
- To expand the size of EKOS and the description of development in the EKOS component in Magrath Heights; and
- To utilize the Municipal Reserve in EKOS to approximately 7.5% in land with the balance as cash-in-lieu.

1.2 Local Setting & Access

The EKOS lands are legally described as the west half of NE ¼ Sec 36-51-25-4. The total amendment area is 33.11 ha, within a NASP area of 120.3 ha. As shown on **Figure 2**, the Magrath Heights NASP is defined by the following general boundaries:

- Northern Boundary - The centre line of 23 Avenue;
- Eastern Boundary – Whitemud Creek;
- Western Boundary – 142 Street; and
- Southern Boundary – North of Anthony Henday Drive.

The lands west of the amendment area are under development with build out expected by the end of 2008.



Proposed NASP
Amendment

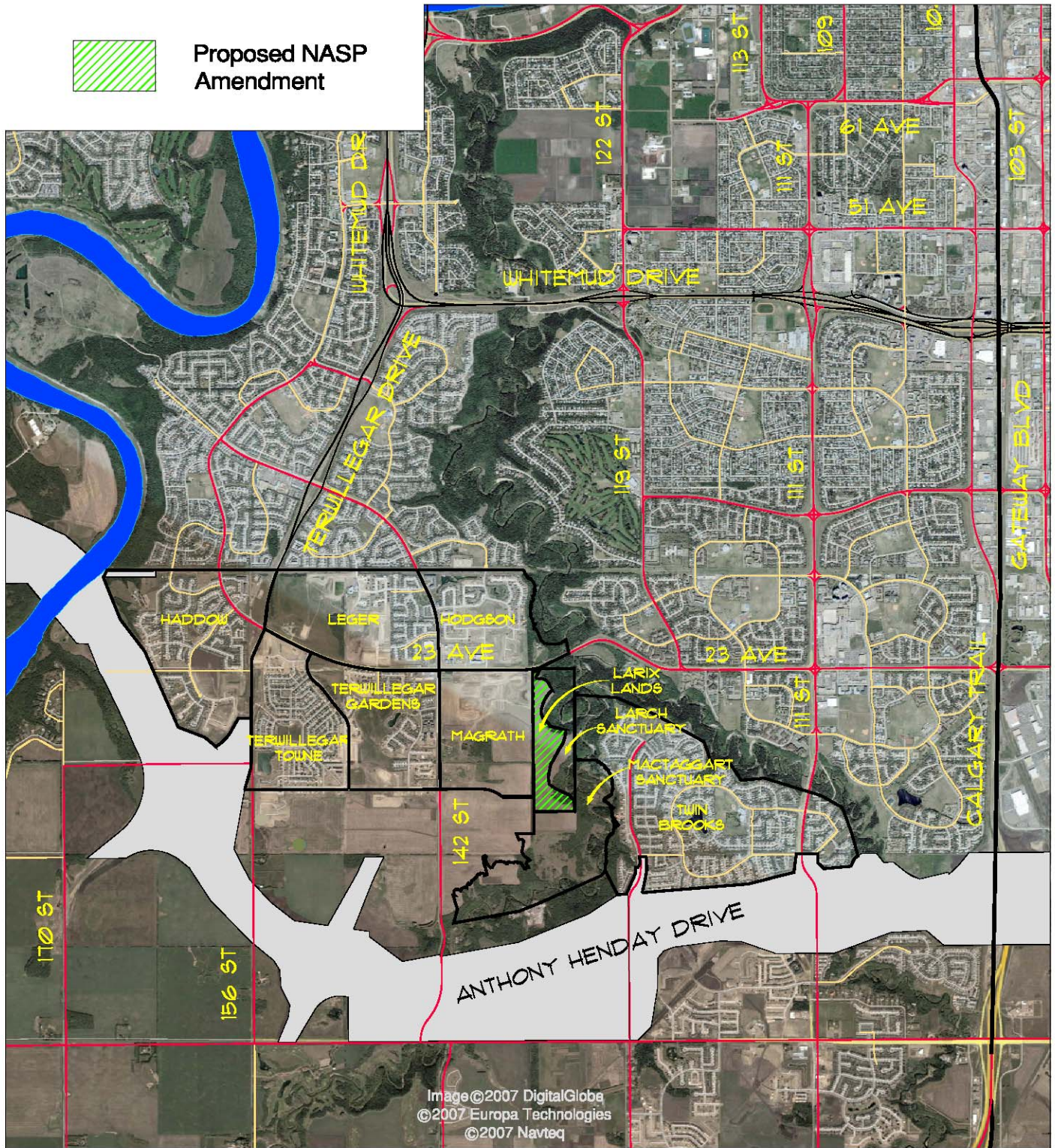


Photo Courtesy Google Earth Pro 2007



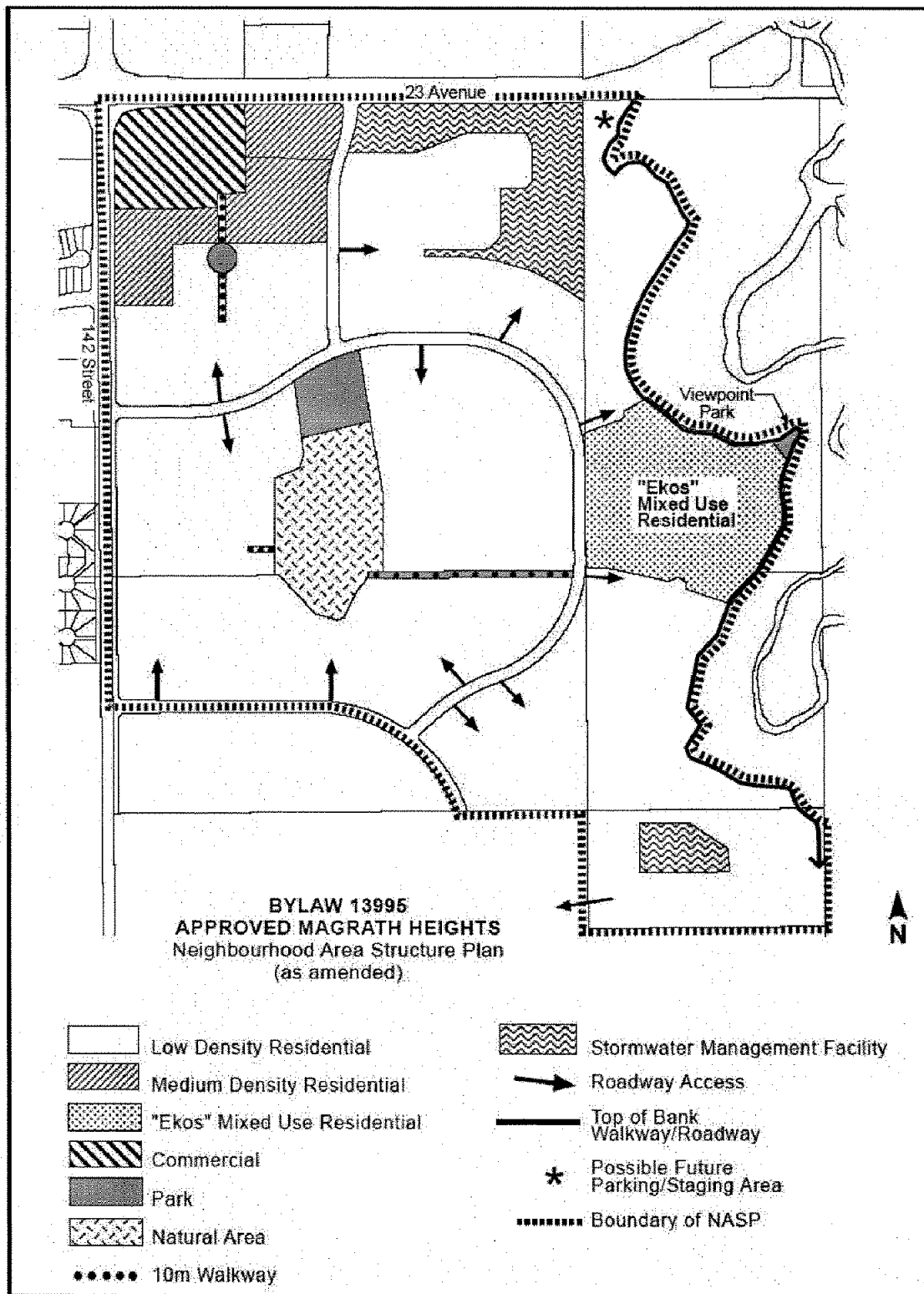
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CONTEXT PLAN

PROPOSED MAGRATH HEIGHTS NASP AMENDMENT
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FIGURE 1





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APPROVED NASP BYLAW 13995

PROPOSED MAGRATH HEIGHTS NASP AMENDMENT
CITY OF EDMONTON

FIGURE 2



1.3 Proposed Amendment

The proposed amendment will accomplish the following:

- Expand the north SWMF by 0.58 ha which will eliminate the need for a SWMF in the southern portion of Larix land. A Neighbourhood Designs Report has confirmed this is acceptable. This will allow better utilization of the land resource.
- The EKOS area is expanded from 7.46 ha to 56.69 ha. The initial EKOS concept was limited to mixed use residential development in a small confined area. By expanding the scope and scale of EKOS, development can be more responsive to the City's objectives for "smart growth" and the developer's goal of sustainable and environmentally responsible development. Defining the EKOS concept in more detail will aid the owner/developer's intent that development will be permitted to occur in an environmentally responsible manner. Development will strive for higher densities, efficient engineering systems and transit availability as well as sustainable landscape and urban design elements.
- Expand the MR to approximately 7.5% land and approximately 2.5% cash-in-lieu in the amendment area; further details are to be negotiated with the developer at the time of subdivision. The current NASP provides limited opportunity for public access to the significant natural resource at the top-of-bank and below the top-of-bank. A combination of top-of-bank road and top-of-bank trail as well as a number of park areas along the trail, will provide a substantial recreational and environmental experience for EKOS residents and those of Magrath Heights and beyond.

2.0 RATIONALE FOR AMENDMENT

Policies in the Magrath Heights NASP are aimed to advance the aspirations of the EKOS lands to achieve more environmentally sustainable and maintainable practices. The goal of the EKOS concept is to implement cost-effective development techniques and design approaches that integrate the forward-thinking concept of “green” communities. The rationale for amendments to the NASP is outlined below.

2.1 Stormwater Management Facilities

The current NASP identifies two stormwater management facilities. The Neighbourhood Designs Report identifies that the storage requirements for Magrath Heights can be accommodated by expanding the existing SWMF in the north by 0.58 ha. This allows better utilization of the land resource in EKOS.

2.2 Expanded and Defined EKOS

The EKOS concept is being expanded in this amendment to include the balance of the Magrath lands, for a total of 33.11 ha. By expanding EKOS from its current 7.46 ha to its proposed size, neighbourhood compactness, diversity and connectivity is better achieved. The EKOS lands will be developed at higher than typical suburban densities.

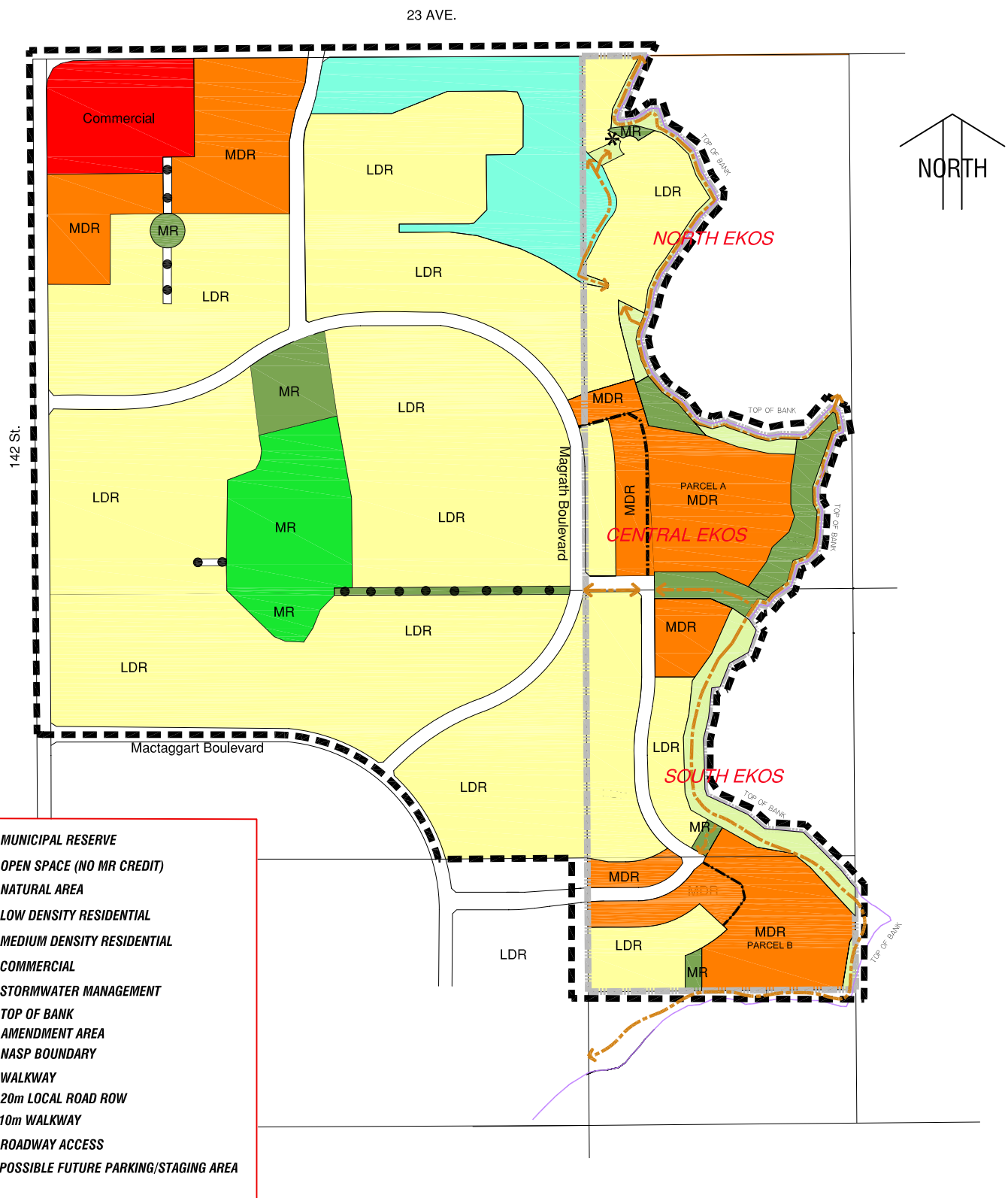
The EKOS development concept is presented in **Figure 3**. The major organizing elements of the EKOS concept are:

- A roadway spine that runs north to south and connects the three entry points into EKOS;
- The Whitemud Ravine which is the major edge on the east and south perimeter of the site; and
- Existing “suburban” development on the west perimeter of the site.

EKOS promotes non-traditional suburban residential development that reflects the precepts of “smart growth” and includes higher densities of development.

In contrast to “sprawl”, greater housing densities result in less land consumed and the potential for greater efficiencies for public transportation and other forms of infrastructure. A more compact development can be more pedestrian friendly and provide a greater mass to support public and private amenities. Planning and design features that enhance these opportunities include:

- Creating defined development focal points;
- Providing quality pedestrian walkways and other linkages that conform to the City of Edmonton’s Sidewalk Strategy and Bike Plan, currently under development;
- Providing a range of housing types and densities; and
- Low-density residential to include single-detached, semi-detached and street oriented town house housing forms at an average density of 20 uph;



PROPOSED NASP DEVELOPMENT CONCEPT

PROPOSED MAGRATH HEIGHTS NASP AMENDMENT

CITY OF EDMONTON

FIGURE 3



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- Medium-density to include street oriented and stacked town housing, and apartment development up to 6 stories in height, at an average density of 63 uph. The (DC2) Direct Development Control Provision sites will be developed at a density of 82 uph;
- Providing a variety of public parks and open spaces;
- Providing a variety of street types and streetscapes; and
- Enhancing viewpoints.

Architectural Aesthetics and Diversity

The value of development is enhanced by aesthetically pleasing and interesting architecture. Poorly developed urban design guidelines can dictate uniformity, resulting in a monotonous texture across the development. In EKOS, guidelines will:

- Encourage contemporary architecture on some lots while accommodating historical styles that reflect regional context;
- Enhance diversity by accommodating a variety of materials and colours; and
- Promote special designs for houses at corners and other prominent locations and for buildings at the end of view corridors.

Developer created and administered architectural guidelines will be used to achieve quality development.

EKOS Sub-units

EKOS is accessed by three street entrances which assist in defining EKOS as three integrated planning and development units. These units are integrated thematically through common urban design elements; by a central collector spine road; by a top-of-bank walkway and open space system; and by the commitment of the developer, builders and future residents to develop and live in an environmentally responsible manner.

The general character of development in the units is as follows:

- North EKOS will be developed with lower density housing forms due to the limitations of the site's narrow configuration and geotechnical constraints. The significant elements in the north are:
 - Emergency Access will be required given the length of the area;
 - Expansion of the existing SWMF;
 - Open space parks;
 - Trail connections around the SWMF, to the top-of-bank trail and back onto the internal road network;
 - Park and trail head at the north portion;
 - Vista and top-of-bank access at the north entrance; and
 - Low density residential development (single, semi-detached and street oriented town housing forms) due to geotechnical and access limitations associated with the configuration of the land
- Central EKOS will be developed at low and medium densities and will accommodate a range of housing forms including single and semi-detached housing; street oriented townhousing; and three to six storey multi-family developments (within Parcel A). Development of Parcel A will be regulated by (DC2) Site Specific Development Control Provisions, with the potential of mixed use and work/live components. Overall density in Parcel A will be a maximum of 82 units per residential ha. The significant elements in Central EKOS are:
 - Major trail connectors to the Magrath Heights Natural Management Area;
 - Central park and staging area for the Whitemud Ravine Trail system;
 - Top-of- bank park;
 - A range of housing forms and densities; and
 - Opportunity for Commercial and/or retail uses to be integrated with multi-family development (an update to the Transportation Impact Assessment (TIA) may be required).

- South EKOS will be developed at low to medium densities and will accommodate a range of housing forms including single and semi-detached housing; street oriented townhousing; and three to six storey multi-family developments (within Parcel B). Development of Parcel B will be regulated by (DC2) Site Specific Development Control Provisions, with the potential of mixed use and work/live components. Overall density in Parcel B will be a maximum of 82 units per residential ha. The significant elements in South EKOS are:
 - A south ravine oriented park for residents with access to the ravine trail system;
 - Top-of-bank open space that will accommodate a top-of-bank walk and a southerly look-out over the MacTaggart sanctuary;
 - Laned developments to encourage streetscapes that present elements of neo-traditional development;
 - A range of housing forms and densities; and
 - Opportunity for Commercial and/or retail uses to be integrated with multi-family development (an update to the Transportation Impact Assessment (TIA) may be required).

Direct Control Sites

As identified in **Figure 3**, two sites, Parcels A and B will be developed under a (DC2) Site Specific Development Control Provision. Given the size of the sites, the range in built form types and related densities, and the objective to fully integrate the site as one comprehensive development, it is necessary to define the scope of the Provisions at the Plan stage to clearly establish parameters for detailed preparation of the Direct Control Provisions and ultimately implementation, A detailed DC2 is required with a complete set of graphical appendices which when combined with text will accurately describe the ultimate development. The appendices should include, but not exclusively, the following:

Site Plan
Surface Parking and Vehicle Circulation
Underground Parking
Pedestrian Circulation
Landscaping and Open Space
Building Elevations

Parcel A is located within Central EKOS, with frontage on the enhanced local roadway on the west and the Whitemud Ravine on the east.

Parcel B is located within South EKOS, with frontage on the enhanced local roadway, the Whitemud Ravine and the Mactaggart Sanctuary.

Summary of Development Guidelines

DC2 Site	Site Area	Building Height, Density and Massing
Parcel A	4.23 ha	Parcel A can accommodate a mix of dwelling types including semi-detached, row housing, stacked row

		housing and apartment housing. Row housing and semi-detached dwellings will be limited to a maximum height of 10.0 m or 2 ½ storeys. Stacked row housing will be limited to a maximum height of 14.0 m or 4 stories. Apartment housing will be limited to a maximum height of 6 storeys. A maximum density of 82 units/ha and a maximum number of units of 346 will be allowed.
Parcel B	3.54 ha	Parcel B can accommodate a mix of dwelling types including semi-detached, row housing, stacked row housing and apartment housing. Row housing and semi-detached dwellings will be limited to a maximum height of 10.0 m or 2 ½ storeys. Stacked row housing will be limited to a maximum height of 14.0 m or 4 stories. Apartment housing will be limited to a maximum height of 6 storeys. A maximum density of 82 units/ha and a maximum number of units of 290 will be allowed.

The (DC2) Site Specific Development Control Provision shall be based on, but not limited, to the following design objectives and guidelines which will be stated as design objectives in the DC2:

SITE PLANNING AND DESIGN

Establish a walkable, mixed use development with opportunities to live, work, shop and play;

Design the site so it creates an attractive and cohesive visual identity;

Orient buildings to emphasize views and viewpoints to the Whitemud Creek Ravine;

Site buildings to maximize open space;

Create lively streets by providing active streetscaping and active frontages;

Ensure compatibility between land uses to mitigate conflict;

Allow for transition between building forms to mitigate the impact of height and massing on surrounding buildings and open space;

Apply Sun Shadow Impact Studies to ensure that shadow impact from buildings on adjacent developments, the Whitemud Creek Ravine and open space is minimal;

Design sufficient setback distances to address safety issues and site amenities, adjacent to the Whitemud Creek Ravine and the Mactaggart Sanctuary; and

Design focal points at each entrance to create interest and to tie the development together.

BUILT FORM

Develop high quality architecture and urban design by creating a built form that is distinctive, attractive and urban in character;

Create opportunity to develop commercial uses such as restaurants and cafes, office space, etc. as a secondary component within residential developments;

Provide mixed use developments which incorporate street level retail commercial uses with active pedestrian oriented storefronts as well as office and residential uses located at the rear or upper floors;

Design buildings to minimize perceived height and massing through building setback variations at the upper levels, building articulation, building orientation, roof treatments and by adding interest through the choice of exterior materials and colours;

Minimize massing at upper levels of apartment housing by using step back design techniques to minimize impact on adjacent developments and the ravine, and to provide a visually interesting skyline;

Design building facades, to include design elements, finishing materials and articulation that will reduce the linear effect and massing of large buildings, and to add architectural interest; and

Use high quality exterior wall finishing materials to promote compatibility with the architectural style established for the area, including building style, form, materials and colours.

CIRCULATION

Develop a pedestrian oriented site with linkages to transit and commercial uses, and amenity areas such as the Whitemud Ravine, park and trail systems;

Facilitate safe, convenient and attractive pedestrian linkages within the site as well as to surrounding areas;

Design interior roadways and walkways to promote contiguous and logical circulation patterns for safe pedestrian and vehicle movement throughout the site and between the site and surrounding development and uses;

Ensure access to the site that is compatible with the neighbourhood roadway network; and

Develop underground parking for medium density housing and surface parking in locations that are either behind or in the interior of a block.

LANDSCAPING

Design landscaping to a high quality, consistent with building form and site development;

Design hard and soft landscaping to act as an integrating feature of the site, tying together the site with built form;

Ensure that hard and soft landscaping integrates the site with the adjacent top-of-bank and ravine;

Promote a naturalized landscape by using landscape materials, their placement and treatment in a manner that is complementary to the natural features of the site and adjoining ravine system;

Use natural landscaping materials to minimize environmental and economic costs associated with their maintenance;

Apply landscaping materials that are attractive to local birds and wildlife; and

Provide hard landscaping such as benches, fountains, and public art that will encourage passive recreation and enjoyment of open space.

2.3 Municipal Reserve

The current NASP identifies a 0.3 ha viewpoint park. This viewpoint park fails to recognize the passive recreational requirements and opportunity associated with these lands. With the densities proposed in EKOS, a range of MR opportunities are required. Of the 10% MR dedication required under the Municipal Government Act (MGA), 7.6% (2.52 ha) will be provided as land, with the remaining provided as cash in lieu.

The NASP amendment identifies the following MR opportunities that are graphically presented in **Figure 4**:

- North parks: A 0.28 ha park sits at the north entrance into EKOS and connects to the central park. This facility will be a focal point and trailhead for access into the ravine. It also has high viewpoint potential. The park will be a passive facility and planting will be naturalized and themed to the agricultural heritage of the lands. A 0.09 ha park is situated at the north end of EKOS as a staging area for trail and TOB walk use.
- Central park: This 1.88 ha park is located at the main entrance into EKOS and connects the Magrath Heights Natural Management Area (MR) to the west, to the Whitemud Ravine by a major 10 m wide walkway. This park will serve as a focal point and activity area for EKOS as well as a major trailhead for access into the ravine. The park will include a variety of planted and open areas for play. Planting will include a combination of native species as well as species that reflect the agricultural heritage of the lands. The major walkway from the west will continue through the park to connect to the top-of-bank walkway and the anticipated ravine trail system.
- South park: A 0.13 ha park is accessed off the internal collector road spine and the top-of-bank walk. This park will serve as a focal point for residents in the south portion of EKOS to the open space in this area. Planting will be naturalized or themed to the agricultural heritage of the lands. A 0.14 ha park provides access to MacTaggart Sanctuary south of EKOS.
- Open space: Open spaces are proposed as connectors between the three MR elements along the top-of-bank and immediately south of the SWMF. Opportunities to extend the ravine into the open spaces will be pursued. There is a potential opportunity for the development of community gardens within the Magrath Heights Neighbourhood. The location of the community garden must comply with all technical reports, including the Geotechnical Report (Thurber, February 17, 2006) and supplementary report (Thurber, April 29, 2008) to ensure that the garden plots will not affect the stability of the adjacent slope. The supplemental report outlines and recommends requirements to restrict water use at or near the top of bank. The location as proposed may not be acceptable.

Any proposal for a community garden within public lands is also subject to review and approval by Asset Management and Public Works – Parks Branch and the community league who will be required to enter into a license of occupation to permit the use of parkland for the garden plots. Garden plots are not a base level of service provided by the City.

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2.4 Land Use Statistics

Figures 5 and 6 show the approved and proposed land use and demographic statistics for the Magrath Heights Neighbourhood Area Structure Plan.

The proposed land use allocations and demographic statistics have changed as a result of this amendment. The following is a summary of these changes:

- The area for SWMF is decreased by a net 0.4 ha to reflect the elimination of the southern facility and the expansion of the northern facility;
- The number of low-density family units have decreased by 147 units based on 20 uph;
- The number of multi-family units have increased by 447 based on 63 uph over the amended area and 82 uph for the direct control areas;
- The low density/medium density residential split has changed from 68/32% to 50/50%;
- The Municipal Reserve allocation has increased from 6.83 ha (5.7%) to 9.05 ha (7.5%); and
- The calculated proposed population in the NASP has increased from 5,389 to 6,037 persons; and a change of 648 residents.

FIGURE 5
MAGRATH HEIGHTS NEIGHBOURHOOD AREA STRUCTURE PLAN
APPROVED LAND USE AND POPULATION STATISTICS
BYLAW 13995 (As amended by Editor)

Gross Area	Area (ha) 120.3	% of GDA			
Arterial (Rabbit Hill Road)	1.0				
Gross Developable Area (GDA)	119.3	100.00			
Stormwater Management Facilities	6.2	5.1			
Park:	6.83	5.7			
Walkways	1.9	1.6			
Circulation	23.86	20.0			
Net Developable Area	80.51	64.8			
Commercial	3.7	3.1			
Net Residential Area	76.82	61.7			
	Dwelling	Persons/			
	Area (ha)	Units/ha	Units	Unit	Population
Low Density Residential	63.6	18	1145	3.46	3961
Medium Density Residential	5.76	50	288	2.6	749
Mixed Use Residential	7.46	35	261	2.6	679
Totals	76.82		1,694		5,389

Density: 22.1 units / net residential ha

Housing Mix: 68% Low Density Residential/ 32% Medium Density Residential

FIGURE 6
MAGRATH HEIGHTS NEIGHBOURHOOD AREA STRUCTURE PLAN
PROPOSED LAND USE AND POPULATION STATISTICS
BYLAW 14988

NASP Overall						Ekos Component			
	Area (ha)			% of GDA		Area (ha)		% of GDA	
Gross Area	120.3					32.99			
Arterial (Rabbit Hill Road)	1.0								
Gross Developable Area (GDA)	119.30			100.0%		32.99		100.0%	
Stormwater Management Facilities	5.80			4.9%		0.51		1.5%	
Park (Municipal Reserve)	8.95			7.5%		2.46		7.5%	
Private Open Space (no MR Credit)	2.30			1.9%		2.30		7.0%	
Walkways	1.90			1.6%		0.00		0.0%	
Circulation	23.86			20.0%		4.95		15.0%	
Top-of-Bank Walkway	1.60			1.34%		1.60		4.8%	
Net Developable Area	74.89			62.8%		21.17		64.2%	
Commercial	3.70			3.1%		0.00		0	
Net Residential Area	71.19			59.7%		21.17		64.2%	
	Area (ha)	Dwelling Units/ha	Units	Persons/ Unit	Population	Area (ha)	Units	% of Units	Population
Low Density Residential	44.26	18	797	3.46	2,757				
Medium Density Residential	5.76	50	288	2.60	749				
Ekos Low Density Residential	10.02	20	200	3.46	692	10.02	200	22.2%	692
Ekos Medium Density Residential	11.15	63	702	2.60	1,825	11.15	702	77.8%	1,825
Totals	71.19		1,987		6,023	21.17	902	100.0%	2,517
Overall Density: 27.9 units / net residential ha						Ekos Density: 42.61 units / net residential ha			
Housing Mix: 50.0% Low Density Residential/ 50.0% Medium Density Residential						Ekos Housing Mix: 22.2% LDR / 77.8% MDR			

*Total residential units match the April 2008 TIA, but proportion of medium to low density units has changed.

3.0 ENGINEERING SERVICES

3.1 Stormwater Management Facility

This amendment proposes to increase the area of the existing Stormwater Management Facility to an area of approximately 5.8 ha. The SWMF in the south portion of EKOS is not required with the increase in area to the existing facility.

During detailed design, it will be determined whether it will be feasible to recharge the oxbow with discharge from the SWMF. The intent is to sustain the oxbow under post-development conditions. The oxbow is currently recharged by overflow over the bank.

The stormwater concept is presented as **Figure 7**.

3.2 Servicing Infrastructure

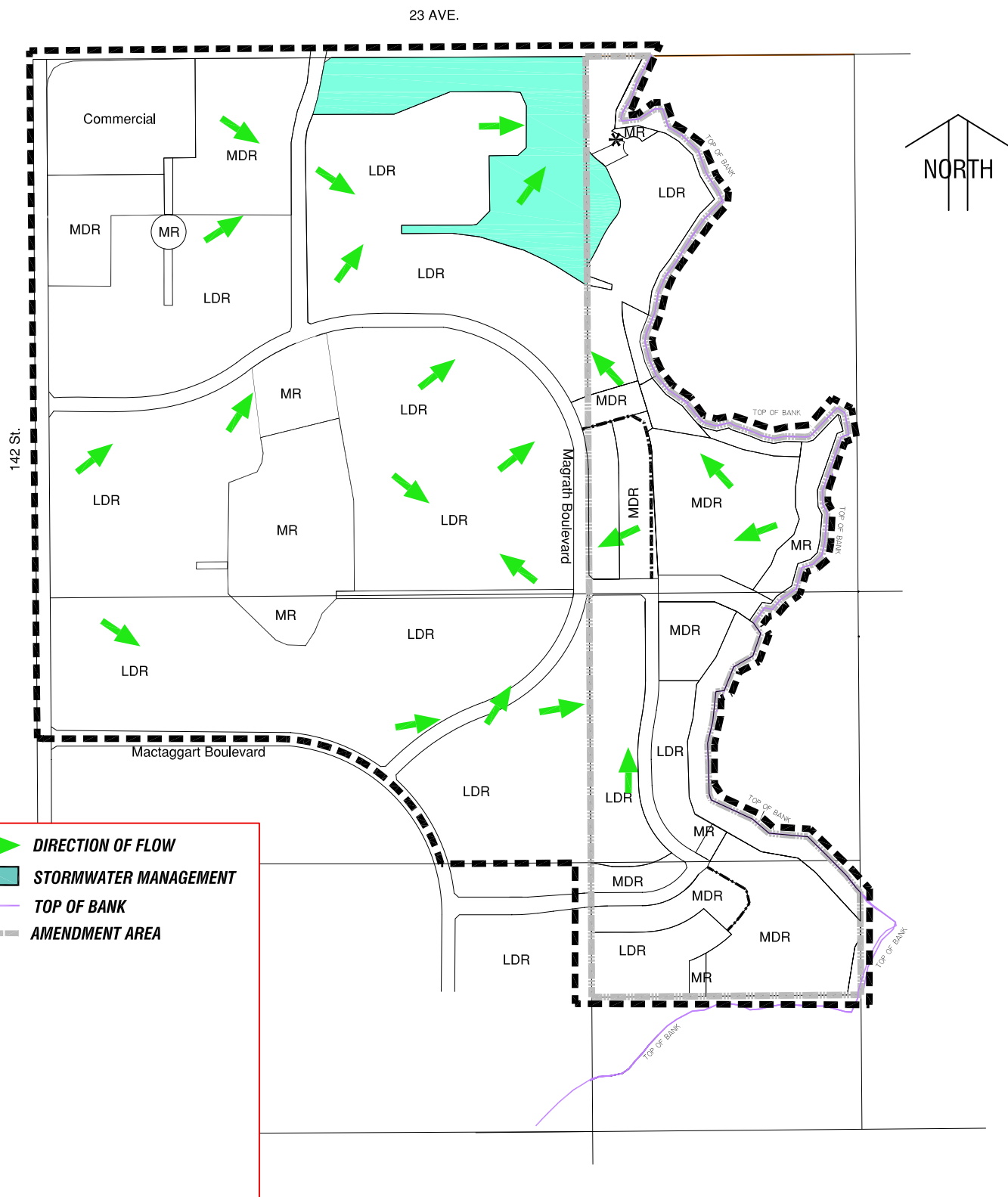
Servicing of the EKOS lands will be facilitated through the systematic extension of existing servicing infrastructure, sanitary and water, from the west. **Figure 8** illustrates the extension of watermains to service the amendment area, and **Figure 9**, the extension of sanitary sewer mains.

3.3 Modified Development Standards

To assist in achieving the EKOS concept of sustainable development, the opportunity for modified development standards may be explored. Any proposal to modify development standards will require consultation, review and approval from City Administration, including but not limited to the Transportation Department and AMPW – Parks Branch and Drainage Branch.

Potential changes to development standards include:

- Incorporating shrub beds into the boulevards of collector and local roadways to provide greater bio-diversity of plant species and lower maintenance costs;
- Modified road cross sections, such as reduced paved surface widths and sidewalks on one side of the road only to reduce stormwater runoff and lessen the amount of infrastructure required;
- Reduced lighting levels to decrease energy consumption;
- Use of recycled material in road structure; and
- Incorporating a drainage interceptor to allow overland flow to be intercepted for park use.



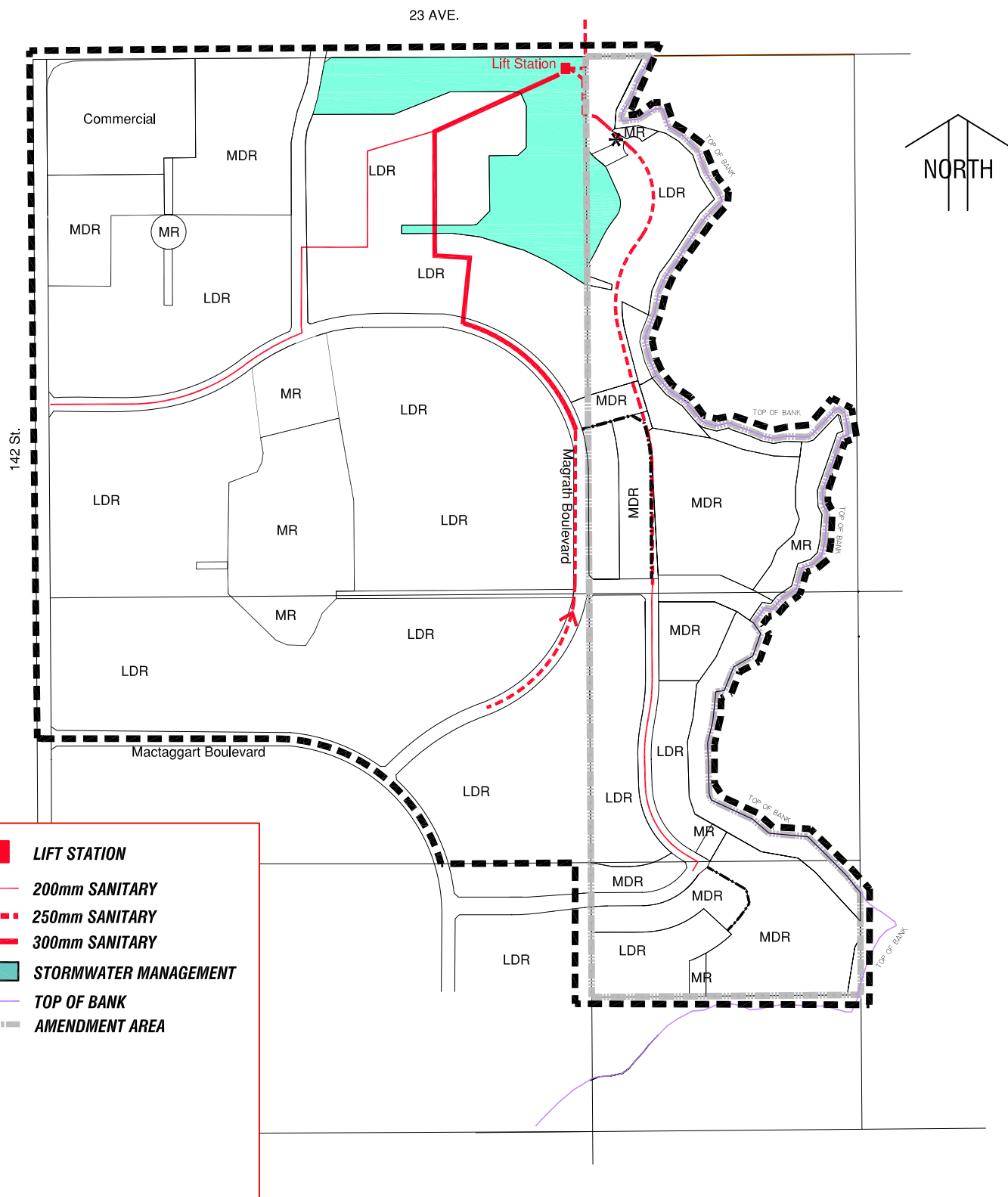
STORM SERVICING

PROPOSED MAGRATH HEIGHTS NASP AMENDMENT
CITY OF EDMONTON

FIGURE 7

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SANITARY SERVICING

PROPOSED MAGRATH HEIGHTS NASP AMENDMENT
CITY OF EDMONTON

FIGURE 9

JUNE 2008
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4.0 PLAN IMPLEMENTATION

4.1 Development Staging

The staging of future development within the NASP amendment area will proceed through the logical progression of the extension of servicing infrastructure. A directional sequence of staging that is likely to occur is illustrated in **Figure 10**.

Generally, infrastructure required to service development on any parcels in the amendment area will require extensions from established utility and transportation facilities from the developed Magrath Neighbourhood to the west of EKOS. The initial stages of residential development are expected to proceed from the centre northwards and then in a general southward direction depending on market demand.

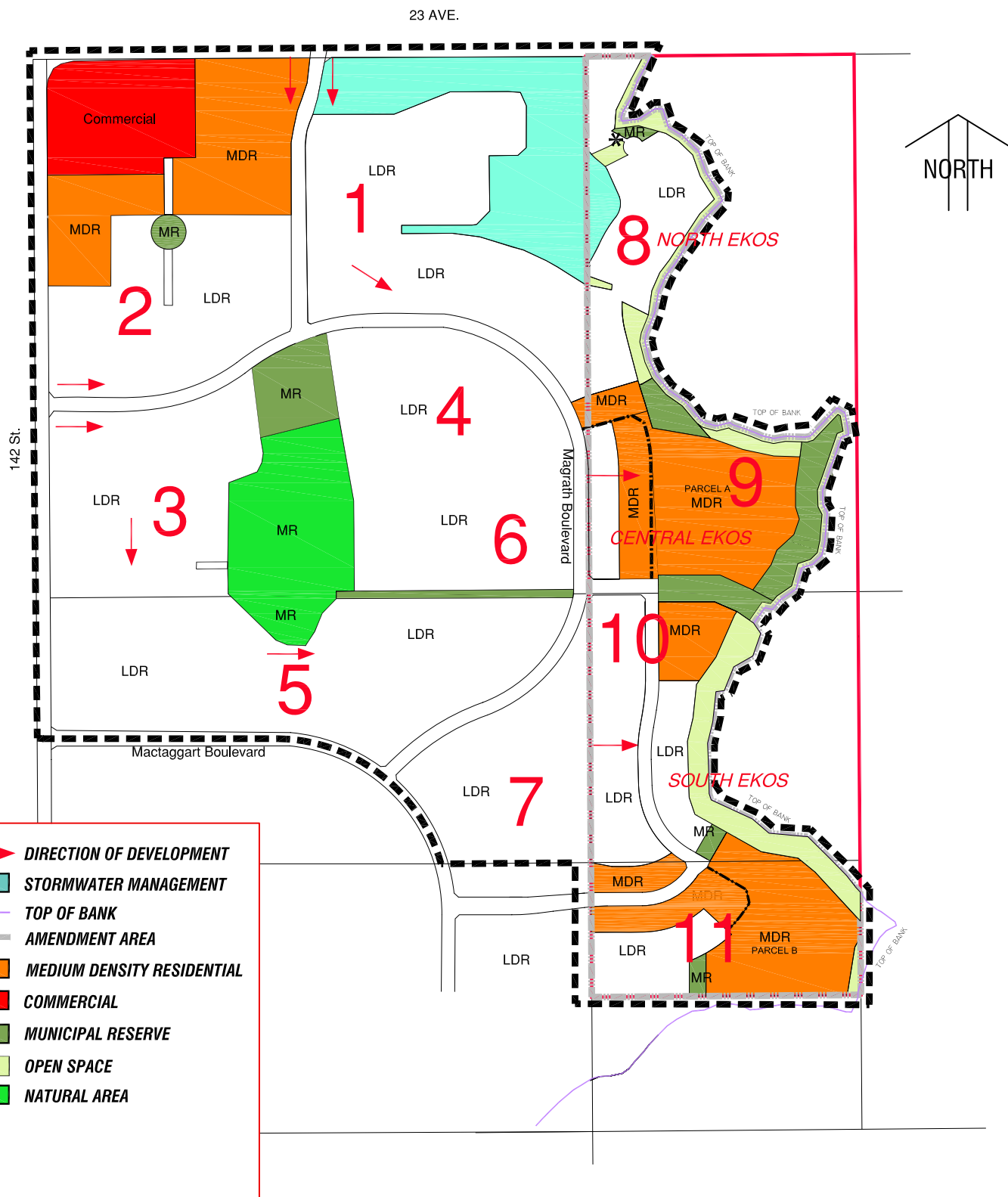
4.2 Lands Below Top of Bank

To ensure preservation of the environmentally significant and sensitive lands located below the top of bank, there is agreement in principle between the landowner and Administration to the following:

- At the time of subdivision, lands are to be dedicated as Environmental Reserve to the City of Edmonton;
- The lands are to be rezoned from (AG) Agricultural Zone to (NA) Natural Area Zone; and
- A Conservation Easement is to be registered on title in favour of the Edmonton and Area Land Trust. The Terms of the Conservation Easement are to be negotiated between the City, landowner and Edmonton and Area Land Trust.

4.3 Zoning and Subdivision

The lands in the amendment area will use conventional land use zones in the Zoning Bylaw except for Parcel A and Parcel B which will be regulated through (DC2) Site Specific Development Control Provisions.



STAGING PLAN

PROPOSED MAGRATH HEIGHTS NASP AMENDMENT
CITY OF EDMONTON

FIGURE 10

JUNE 2008
NOT TO SCALE



5.0 DEVELOPMENT CONTEXT OF EKOS

5.1 Land Ownership

The legal description and land ownership of the lands subject to this amendment is as follows.

Owner	Area (ha)
Larix Development Limited – NE ¼ 36-51-25-W4M	56.69

5.2 Existing Land Uses

The majority of the lands within the amendment are in agricultural use or in their natural state.

5.3 Topography and Drainage

Elevation of the subject area ranges from 687 m to 670 m. The table lands are generally flat and gently sloping to the top-of-bank. Contours are shown in **Figure 11 - Land Features and Topography**. The topography and natural drainage features will have some implications for design of engineering services.

5.4 Environmentally Sensitive and Significant Natural Areas

The City's 1993 Inventory of Environmentally Sensitive and Significant Areas (Geowest 1993) identifies environmentally sensitive and significant areas throughout the City of Edmonton. None of these areas fall within the subject Amendment area.

The need for a Stage 1 Natural Site Assessment is removed, as there are no sensitive or significant areas within the Amendment area.

The ravine lands are subject to the North Saskatchewan River Valley Bylaw.

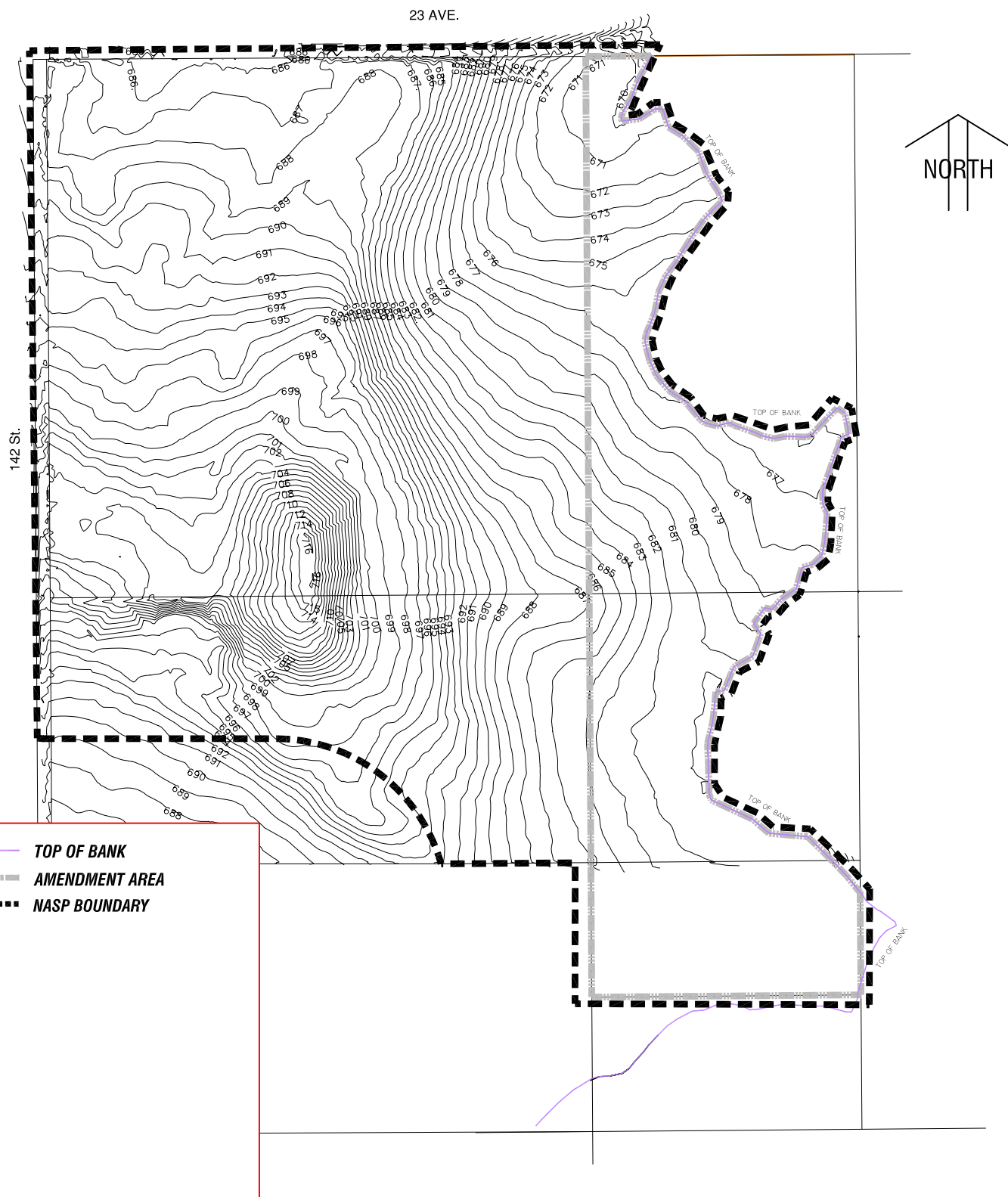
5.5 Surrounding Development Activity

The amendment lands are bordered to the west by urban development and to the north by developing residential lands north of 23 Avenue. Lands to the south are in a conservancy status (MacTaggart Sanctuary).

5.6 Archaeological and Heritage Resources

An archaeological and heritage resources overview has been completed. The Archaeological Surveys Branch of Alberta Culture has concluded that the amendment lands are of little or no historical or cultural value and no further study is required.

A Historical Resources Impact Assessment (HRIA) has been completed for the west half of NE-36-51-25-4. The HRIA has been submitted to the Provincial Department of Tourism, Parks, Recreation and Culture, Historical Resources Branch for review. Follow-up items identified by the HRIA shall be addressed prior to the rezoning of the subject areas.



SITE CONTOURS

PROPOSED MAGRATH HEIGHTS NASP AMENDMENT
CITY OF EDMONTON

FIGURE 11

JUNE 2008
NOT TO SCALE



5.7 Soils and Geotechnical Assessment

Geotechnical Investigation Report was completed by Thurber Engineering (File 19-423-46) on February 17, 2006, along with a supplementary report (File 19-5334-0) on April 29, 2008 for lands legally described as NE and SE 36-51-25-W4M. These studies have identified that the soil stratigraphy typically consists of lacustro-till, glacial sand and gravel, glacial till and bedrock. The soils conditions do not present any major impediments to development.

Geotechnical development setbacks from the top-of-bank have been identified that range from 10 m to 55 m. These setbacks preclude the development of residential development within the setbacks.

5.8 Environmental Site Assessment

A Phase 1 Environmental Site Assessment (ESA) was submitted for lands described as the west half of NE-36-51-25-4 (Larch Lands). Follow-up items identified by the ESA shall be addressed prior to the rezoning of the subject areas.

6.0 POLICY CONTEXT

This Magrath Heights NASP amendment has been prepared in the context of applicable development policies and objectives governing this area.

6.1 Magrath Heights Neighbourhood Area Structure Plan

6.1.1 OBJECTIVES

The Magrath Heights NASP has been prepared as a comprehensively planned residential neighbourhood taking advantage of both the natural features and the location attributes of the area. The main objectives of the Magrath Heights NASP are:

- to develop a plan consistent with the general intent and purpose of the Terwillegar Heights SCDB;
- to provide a framework to deliver a high quality, comprehensively planned residential area by defining the collector and arterial roadway network, the type, size and location of land uses, linkages, location of park sites, servicing designs and development staging;
- to provide a variety and choice of housing types;
- to provide opportunities for increased residential densities;
- to provide neighbourhood activity focus;
- to strive for environmental protection and enhancement;
- to provide transportation alternatives;
- to encourage environmentally sustainable housing and development;
- to provide access to the North Saskatchewan River Valley System; and
- to accommodate growth in an orderly, serviced and cost-effective manner.

The development of amendment lands will achieve the previously approved objectives noted above.

6.1.2 PRINCIPLES

Development of the various land uses within the Magrath Heights NASP is defined through the following general principles:

RESIDENTIAL

- Provide for a diversity of low and medium density housing forms in Magrath.
- Establish sufficient overall residential densities to support the efficient provision of recreational facilities and municipal services such as public transit within the neighbourhood.
- Provide an opportunity for lands in the eastern portion of the Plan (EKOS) to be developed in an ecologically sustainable manner that embrace a variety of housing forms using innovative environmental and ecological design principles.
- Encourage pedestrian connectivity between community nodes.

The amendment will achieve the principles noted above.

TRANSPORTATION

- Provide a logical, safe and efficient hierarchy of transportation systems within the plan area to address the pedestrian, bicycle, public transit and automobile transportation needs of residents and businesses moving to, from and within Magrath.
- Integrate linear corridors into the Neighbourhood and make use of their walkway and linkage potential.
- Provide a pedestrian circulation system that links key viewpoints, park areas and development nodes.
- Ensure a common theme of integration is established.
- Provide opportunities for pedestrian and bicycle access into adjoining neighbourhoods.
- Minimize walking distances by creating an interconnected street network.

The amendment allows for full transportation integration of development as well as the potential to run transit through the EKOS area.

PARKS & OPEN SPACE

- Provide open space and natural area preservation through the dedication of municipal reserves.
- Utilize SWMF to provide pedestrian linkages.
- Preserve and integrate top-of-bank areas through the use of roadways/walkways, municipal reserve and SWMF.
- Promote the development of open spaces and walkway linkages for pedestrian, bicycle and other multi-use travel and connect them to surrounding areas.
- Ensure that development is in accordance with geotechnical and hydrological recommendations.

The amendment introduces additional MR and open space opportunities, particularly along the top-of-bank. Walkways and other linkages are identified and connected to other facilities in Magrath.

6.2 Smart Choices

In 2004, City Council approved a report entitled *Smart Choices for Developing Our Community*. This report recommends an inclusive set of initiatives that encourage a more fiscally and environmentally sustainable future for the way Edmonton grows and redevelops.

The Smart Choices program has established “Four Smart Choices Fundamentals” to guide implementation of the Program. These Fundamentals are seen as the essential characteristics of a good place to live:

1. **Options:** *A variety of choices regarding location, housing, work and transportation. The City and private sector work to provide options by offering different neighbourhood types, housing types, business and work locations, and transportation modes.*

This Plan amendment incorporates residential designations that offer consumers the option of low to medium density housing. Work/live opportunities will also be accommodated. Garage “granny”

suite development will be encouraged. Public transit opportunities are provided as well as an extensive, well-linked pedestrian and bicycle network that provides convenient choice for multiple modes of transportation.

2. **Access:** *A city with access to a variety of amenities and destinations. The need for access influences individual decisions about locating near places of work and learning, community facilities and services, recreation and entertainment, health and emergency services, open space and natural areas and shopping.*

This NASP amendment area is served by collector and local roads, sidewalks, walkways, and multi use trails that encourage use of community facilities, open spaces and other community opportunities and businesses.

3. **Vitality:** *A vibrant city, interesting to live in and attractive for business. Vitality requires a mix of activities and uses, community interaction, heritage, culture and beauty, diversity, interest and excitement, active democracy, and strong downtown and commercial areas.*

The proposed amendment to the NASP allows development to occur that will be architecturally vibrant while fostering development that generates vitality and interest and that promotes community interaction. The several open space nodes create natural meeting and congregation venues within a community of individuals dedicated to living in an environmentally responsible manner.

4. **Viability:** *A viable city with valuable assets and a continuing infusion of community and business support. Viability requires efficient use of resources, an adequate revenue base, economic growth, investment and reinvestment, affordable infrastructure and services, social cohesion and shared goals.*

Development of the amendment lands as EKOS is viable, and will provide sustainable property tax revenue for the City.

6.3 Edmonton Zoning Bylaw 12800

The lands subject to this amendment are currently zoned (AG) Agriculture Zone and will eventually need to be rezoned.

In order to implement the concepts identified in the Plan Amendment, zoning will be pursued in accordance with the *City of Edmonton Zoning Bylaw 12800* as amended. Site Specific Development Control Provisions (DC2) will be developed for Parcels A and B to ensure the integrity of EKOS is continued throughout.

6.4 Plan Edmonton

The Edmonton Municipal Development Plan designation for the Amendment lands is Suburban Area.

Plan Edmonton Bylaw No. 11777 (as amended) sets out a strategy to accommodate the future growth and development of the City. The following are strategy statements specific to this amendment:

Creating Liveable Communities

- 1.1.1 *Provide for choices regarding the types of development in which people want to live and do business.*

This amendment increases residential choices for residents and home consumers.

- 1.1.2 *Address compatibility of land use in the development and review land use plans and development proposals.*

The proposed amendment extends the EKOS boundaries. The amendment embodies the City's smart growth and smart choices objectives.

- 1.1.3 *Use and promote urban design principles and guidelines that enhance the quality of the urban environment.*

The land development philosophy of this amendment is to develop and live responsibly with the environment while creating a vibrant, vital and liveable community. Architectural guidelines will be created and administered by the developer.

Managing Our Resources Wisely

- 1.1.12 *Place a high priority on the effective and efficient use of land.*

The proposed Amendment provides an effective and efficient use of lands and infrastructure.

- 1.1.13 *Plan for urban development, which is environmentally and fiscally sustainable in the long term, based on the City's financing, infrastructure and environmental strategies.*

The Amendment embraces environmental and fiscal sustainability through its intensification of development approach. The abundance of open space at the top-of-bank interface assists in conserving the ravine resource. The approach to conserve ravine lands through a trust mechanism protects the ravine resource over the long term.

Managing Suburban Growth

- 1.7.2 *Provide for a range of housing types and densities in each residential neighbourhood.*

1.7.3 *Encourage flexibility in creating attractive and functional residential neighbourhoods and business areas.*

This proposed amendment responds to the above noted strategies by proposing land uses that are market responsive while creating opportunities for attractive and functional development.

Suburban Neighbourhood Design Principles

The City of Edmonton Suburban Neighbourhood Design Principles provide a series of guidelines to assess the design and servicing of new suburban neighbourhoods. The following principles relate to this Plan:

Design Principle 1 - Design Neighbourhoods with the intent of sharing common infrastructure facilities among neighbourhoods.

Infrastructure to service the subject lands is in place in the west within Magrath and will be extended as required.

Design Principle 4 - Design neighbourhood streets (both neighbourhood design and cross section of roadway) with standards that cater to the main intended use of the road.

Roadways within the amendment area will be developed as a mixture of collector and local roadways. The collector roadway will be constructed to City of Edmonton standards. Local roadways may be constructed to modified standards that are functional but are more sustainable. Road profiles and intersections will acknowledge key pedestrian linkages through design details.

Design Principle 5 - Provide convenient pedestrian and bicycle access throughout the neighbourhood and especially between destination points within and outside the neighbourhood.

Bicycle and pedestrian movement throughout the subject site is intended to follow the local, collector and trail/walkway network.

Design Principle 6 - Provide transit services to the edges of the new neighbourhoods using the arterial and collector roadways in conjunction with appropriately designed, strategically located and conveniently accessed transit-waiting zones.

Future transit service may be accommodated along the collector roadway network.

Design Principle 10 - Optimize the use of land and capital requirements for facilities such as churches, schools, community leagues and stormwater management facilities.

The proposed reduction of one SWMF optimizes the opportunity for rational land use and efficient development.

Design Principle 11 - Create a linked open space system through open spaces created by stormwater management facilities, some utility rights-of-ways, preservation of appropriate natural areas and drainage courses, and school and park open spaces.

Walkways and sidewalks will provide linkages between retained natural areas, passive parks, open spaces and stormwater management facilities.

Design Principle 15 - Provide opportunity through the residential districts of the Land Use Bylaw for the intensification of housing forms and for alternative site design and building siting.

In accordance with market demands, opportunities for innovative housing, site design and building siting will be pursued through the rezoning and subdivision processes.

Design Principle 16 - Use current population and student generation formulas when planning facilities for a neighbourhood. Take into account the life cycle of the neighbourhood.

The formulas for population generation calculations were provided by the Suburban Neighbourhood Design Principles report and Edmonton Public Schools provided the formulas for student generation calculations. Both were used to develop demographic projections in this amendment.