

Bylaw 15246

A Bylaw to amend Bylaw 12800, as amended,  
The Edmonton Zoning Bylaw  
Amendment No. 1085

WHEREAS Lot 1, Block 45, Plan 316 NY, located at 10530-56 Avenue NW, Pleasantview, Edmonton, Alberta, is specified on the Zoning Map as (US) Urban Services Zone; and

WHEREAS an application was made to rezone the above described property to (DC2) Site Specific Development Control Provision;

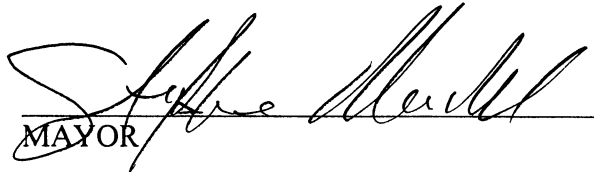
NOW THEREFORE after due compliance with the relevant provisions of the Municipal Government Act RSA 2000, ch. M-26, as amended, the Municipal Council of the City of Edmonton duly assembled enacts as follows:

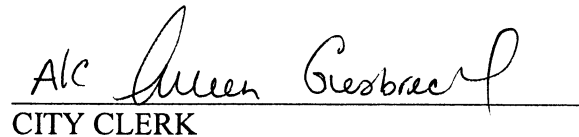
1. The Zoning Map, being Part III to Bylaw 12800 The Edmonton Zoning Bylaw is hereby amended by rezoning the lands legally described as Lot 1, Block 45, Plan 316 NY, located at 10530-56 Avenue NW, Pleasantview, Edmonton, Alberta, which lands are shown on the sketch plan annexed hereto as Schedule "A", from (US) Urban Services Zone to (DC2) Site Specific Development Control Provision.
2. The uses and regulations of the aforementioned DC2 Provision are annexed hereto as Schedule "B".

3. The sketch plan annexed hereto as Schedule "A" and the uses and regulations of the DC2 Provision shown on Schedule "B" annexed hereto are hereby incorporated into the Zoning Bylaw, being Part IV to Bylaw 12800, The Edmonton Zoning Bylaw.

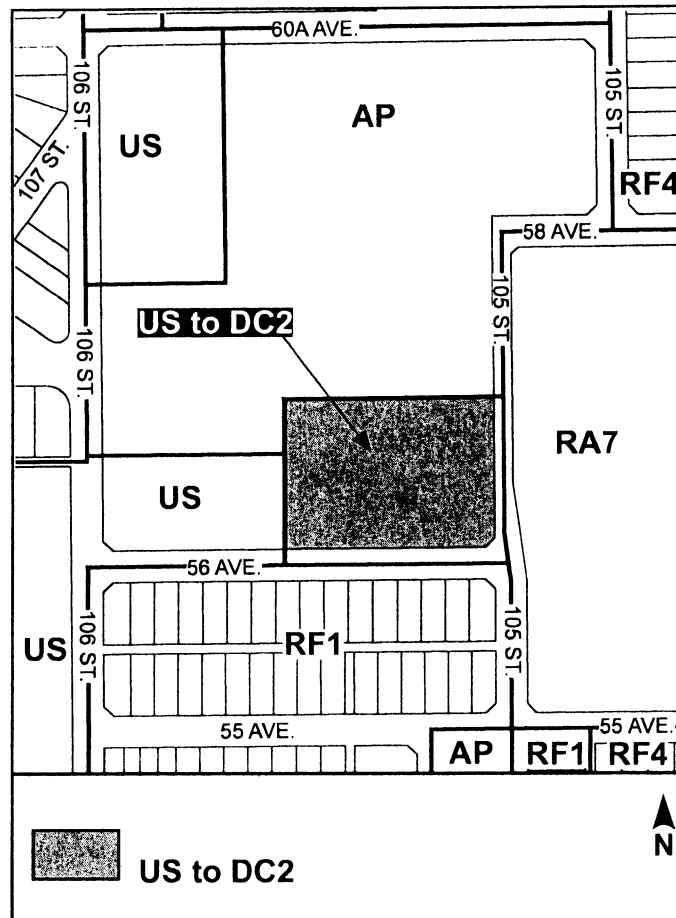
READ a first time this	26th	day of	October	, A. D. 2009;
READ a second time this	26th	day of	October	, A. D. 2009;
READ a third time this	26th	day of	October	, A. D. 2009;
SIGNED and PASSED this	26th	day of	October	, A. D. 2009.

THE CITY OF EDMONTON

  
MAYOR

  
CITY CLERK

## BYLAW 15246



**(DC2) SITE SPECIFIC DEVELOPMENT CONTROL PROVISION****1. General Purpose**

To redevelop a vacant site situated adjacent to a neighbourhood school and park, with a comprehensively planned, high quality low rise residential development. The development consists of stacked row housing (3 storeys) and low-rise apartments (4 storeys), underground parking, and a variety of outdoor amenity spaces for residents and their visitors. The site has been purposefully designed to be compatible with adjacent land uses by sensitively locating and transitioning a mix of building profiles, and by mitigating the impact of building scale and massing through built form.

**2. Area of Application**

This DC2 provision shall apply to Lot 1, Block 45, Plan 316NY, located at the northwest corner of 105 Street NW and 56 Avenue NW, as shown on Schedule "A" of the Bylaw adopting this Provision; **Pleasantview**. Site area is 1.28 hectares.

**3. Uses**

- a. Apartment Housing
- b. Stacked Row Housing
- c. Boarding and Lodging Homes
- d. Limited Group Homes
- e. Minor Home Based Business
- f. Residential Sales Centre
- g. Fascia On-Premises Signs
- h. Freestanding On-Premises Signs
- i. Projecting On-Premises Signs
- j. Temporary On-Premises Signs

**4. Development Regulations**

- a. Development shall be in general accordance with the attached Appendices:
  - i) Appendix I, Site Plan
  - ii) Appendix II, Building 1 Elevations
  - iii) Appendix III, Building 2 Elevations
  - iv) Appendix IV-a and Appendix IV-b, Building 3 Elevations
  - v) Appendix V-a and Appendix V-b, Building 4 Elevations
  - vi) Appendix VI, Underground Parking Garage Concept

- vii) Appendix VII, Landscape Layout Concept
  - viii) Appendix VIII, Vehicle & Pedestrian Circulation Concept
  - ix) Appendix IX, Cross Section of Driveway, Garbage & Loading Area
- b. The following building setbacks shall be applied as indicated on Appendix I, Site Plan:
- i. The minimum setback from the south property line abutting 56 Avenue shall be 6.0 m with active frontages.
  - ii. The minimum setback from the west property line shall be 4.4 m.
  - iii. The minimum setback for Building 4 from the east property line abutting 105 Street shall be 4.4 m with active frontages.
  - iv. The minimum setback for Building 1 from the east property line abutting 105 Street shall be 3.8 m with active frontages.
  - v. The minimum setback from the southeast corner property line shall be 3.4 m.
  - vi. The minimum setback from the north property line shall be 4.5 m.
- c. The minimum yard setback at the west property line for at grade parking spaces shall be 1.2 m.
- d. Platform structures (balconies) may project 1.8 m into a required yard.
- e. The number of dwelling units shall not exceed 172 (134.5 units per hectare).
- f. The maximum building heights shall be applied as indicated on Appendices II to V, Building Elevations:
- i. The maximum building height for Building 1 shall not exceed 10.5 m or 3 storeys.
  - ii. The maximum building height for Building 2 shall not exceed 10.0 m or 3 storeys.
  - iii. The maximum building height (main roof elevation) for Building 3 shall not exceed 15.7 m or 4 storeys.
  - iv. The maximum building height to top of peak (feature roofs) for Building 3 shall not exceed 18.9 m.
  - v. The maximum building height (main roof elevation) for Building 4 shall not exceed 15.7 m or 4 storeys.
  - vi. The maximum building height to top of peak (feature roofs) for Building 4 shall not exceed 18.9 m.

- vii. The maximum building height for the Amenity Building, as located on Appendix I, Site Plan, shall not exceed 5.0 m or one storey.
- g. The maximum floor area ratio shall not exceed 1.80.
- h. Minimum separation space between buildings shall be as shown in Appendix I, Site Plan.
- i. Amenity areas shall consist of:
  - i. A minimum amenity area of 7.5 m<sup>2</sup> per dwelling.
  - ii. A Play Area that consists of 25% hard surface area, Plaza, and Amenity Building as shown on Appendix I, Site Plan.
- j. Family-oriented units:
  - i. 58 dwellings units at the ground-level shall consist of 2 or more bedrooms (34% of all dwelling units).
  - ii. 35 dwelling units at the ground-level shall have private entrances (20% of all dwelling units).
  - iii. All dwelling units shall have access to private storage in the underground parking garage, as per Appendix VI, Underground Parking Garage Concept.
- k. Fencing, as per Appendix VII, Landscape Layout Concept, shall consist of:
  - i. A 1.8 m uniform fence located 150 mm within the property line on the north and west sides of the site.
  - ii. A decorative pedestrian entrance gate made with materials such as wood, stone and iron, along the north fence located between Buildings 3 and 4 that is a prominent and distinct entry point into the development.
  - iii. A 1.0 m ornamental fence located at the east and south sides of the site.
- l. The applicant shall submit a Comprehensive Sign Design Plan with submission of a Development Permit Application, to the satisfaction of the Development Officer.
- m. Parking, Vehicular Circulation, and Garbage and Loading Area:
  - i. Vehicular and bicycle parking shall be provided as shown in Appendix I, Site Plan and shall be in accordance with the parking requirements of the Zoning Bylaw and located to the satisfaction of the Development Officer and the Transportation Department.

- ii. Access to the site shall consist of two (2) all directional accesses from 56 Avenue on the south side of the property as per Appendix I, Site Plan.
  - iii. The radius of the circular drop-off area shall be a minimum of 12.0 m on centre with a clear width of 6.0 m.
  - iv. The circular drop-off area shall function as a one way operation and signed accordingly. Long term parking in this area is not permitted, with the exception of designated visitor parking.
  - v. Parking along the driveway to the circular drop-off area is not permitted. Both sides of the driveway must be signed "No Parking".
  - vi. Parking within the Garbage and Loading Area is not permitted. This area must be signed "No Parking".
  - vii. Parking is not permitted along the "throat" of all site accesses and must be signed "No Parking".
  - viii. The garbage and loading area shall be developed below grade as shown in Appendix VI, Underground Parking Garage Concept, and on Appendix IX, Cross Section of Driveway, Garbage & Loading Area and to the satisfaction of the Development Officer. The overhead door for the garbage storage room shall allow for efficient bin movement and the turnaround area shall accommodate collection vehicles with a length of 10.5 m.
- n. Pedestrian Circulation, Landscape and Open Space:
- i. Pedestrian circulation shall be provided as shown in Appendix VIII, Vehicle & Pedestrian Circulation Concept.
  - ii. A Sidewalk Utility Right-of-Way shall be provided to ensure public accessibility on the walkway along 105 Street as shown in Appendix VIII, Vehicle & Pedestrian Circulation Concept, to the satisfaction of the Transportation Department. A Sidewalk Utility Right-of-Way shall be registered as a condition of a Development Permit.
  - iii. Landscaping and open space shall be developed based on the concept shown in Appendix VII, Landscape Layout Concept, and shall provide an additional 10% more trees and shrubs than the landscaping requirements of the Zoning Bylaw.
  - iv. Existing deciduous and coniferous trees shall generally remain as per Appendix VII, Landscape Layout Concept.
  - v. A detailed landscape plan shall be submitted as part of a Development Permit Application.
- o. The owner shall enter into an agreement with the City of Edmonton for off-site improvements necessary to serve the development. The agreement process includes an engineering drawing review and approval process. The agreement must be executed prior to the release of drawings for building permit review.

Improvements to be addressed in the agreement include but are not limited to the following:

- i. Construction of a 1.5 m concrete monolithic sidewalk, including reconstruction of the existing curb, on the west side of 105 Street.
  - ii. Construction of a minimum 7.5 m wide all-directional curb return access for the west access on the north side of 56 Avenue.
  - iii. Construction of a minimum 7.5 m wide all-directional commercial crossing for the central access on the north side of 56 Avenue.
  - iv. Construction of one on-street fire hydrant on 105 Street and additional levels of on-site fire protection requirements be addressed, to the satisfaction of EPCOR Water Services Inc.
  - v. Removal of existing accesses to 105 Street, construction of the curb and gutter, and restoration of the boulevard to the satisfaction of the Transportation Department and Asset Management & Public Works Department.
  - vi. Relocation of the existing storm sewer on the west side of the development.
  - vii. Replacement of approximately 10 m of the existing cracked sidewalk and curb on the north side of 56 Avenue adjacent to the bus stop and shelter to the satisfaction of the Transportation Department and Asset Management & Public Works Department.
  - viii. Repair of any damage to the abutting roadways, sidewalks and or boulevards resulting from construction of the development, to the satisfaction of the Transportation Department. The site must be inspected by the Transportation Department prior to construction and once again when the construction is complete.
- p. Crime Prevention through Environmental Design (CPTED) principles shall be used to design public and private spaces and facilities, focusing on natural surveillance and access control.
- q. Prior to the issuance of any Development Permit, the Development Officer shall ensure that a signed agreement has been executed between the City and the Owner, requiring the Owner to provide the City at the time of Development Permit approval, the option to purchase 5% of the proposed number of residential units at 85% of the market price; or the ability to acquire units on the basis of a future approved Council policy on Affordable Housing.
- r. Prior to issuance of a Development Permit, the applicant shall submit a site construction plan to minimize the noise impacts to adjacent properties. This plan shall be to the satisfaction of the Development Officer and the Transportation



Department, and shall address items such as construction hours, duration and access routing for construction vehicles.

## **5. Design Regulations**

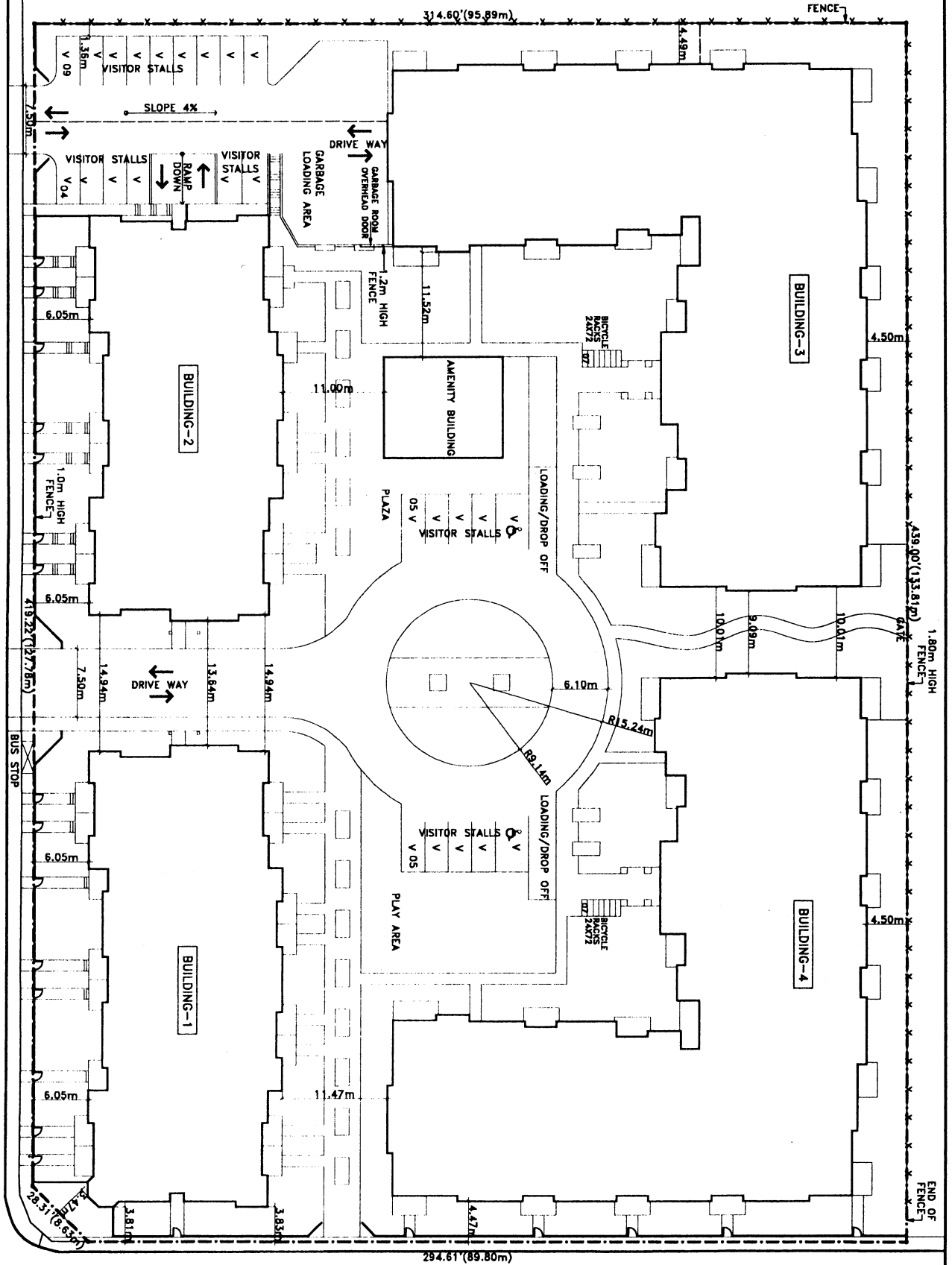
The Development Officer shall apply the following site planning and architectural regulations to all developments within this Provision in order to achieve a high quality urban environment.

- a. **Site Planning**
  - i. Buildings shall be sited as per Appendix I, Site Plan, such that maximum open space is provided.
  - ii. Buildings shall be aligned along public roadway frontages, and use techniques such as building articulation, active frontages, variable materials and colours in order to avoid long monotonous building facades, and to create an interesting streetscape.
  - iii. Active frontages shall be applied, featuring ground level units with individual front door entrances, terraces and landscaped elements to create a ground level presence oriented to 105 Street and 56 Avenue.
  - iv. All exterior lighting shall be designed such that the lighting does not extend beyond the boundaries of the site.
  - v. Development shall include features facilitating barrier-free design and visitability, such as ramps for wheelchair accessibility, level entrances, accessible doorways with lever handles, and interior design features promoting livability suitable for seniors.
- b. **Built Form**
  - i. Roof lines and building facades shall include design elements and variations that reduce the perceived mass and linearity of the buildings and to add architectural interest.
  - ii. The finishing material of the development shall be of high quality, consisting of materials such as glass, cultured stone, siding or stucco. Colours and textures shall be compatible with the development and surrounding area.
  - iii. Building entries shall be readily identifiable by using design techniques such as recesses, projections, columns, and distinctive material and colours to articulate entrances.
  - iv. All mechanical equipment, including roof mechanical equipment units, shall be concealed by screening in a manner compatible with the architectural character of the building or concealed by incorporating it with the building.
  - v. The development shall comply to the Built Green™ Multi-Storey and Residential Tower Program standards at a bronze level.

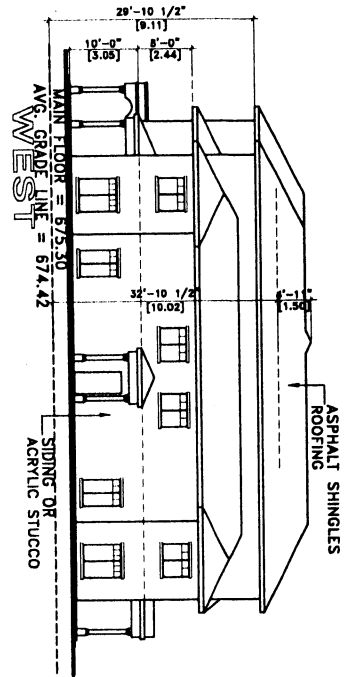
SITE PLAN

56 AV

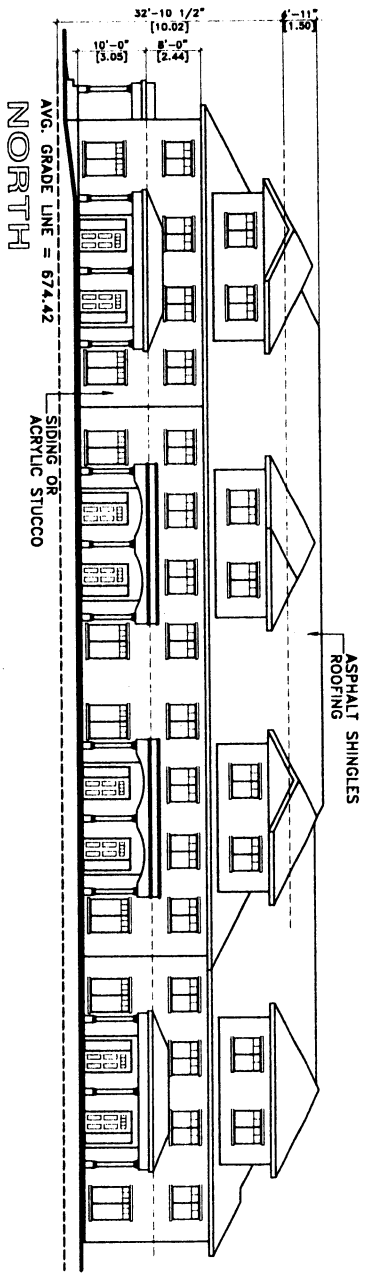
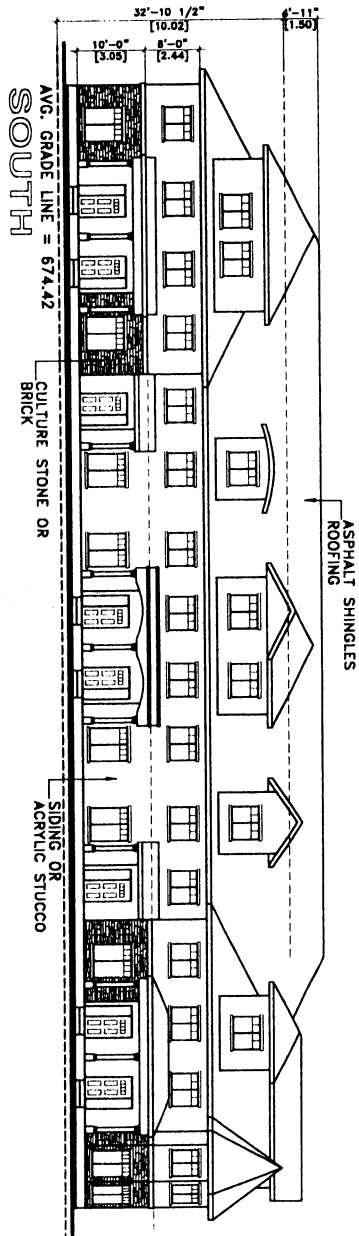
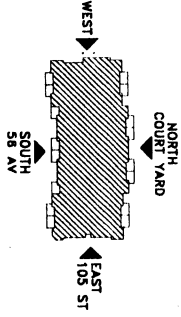
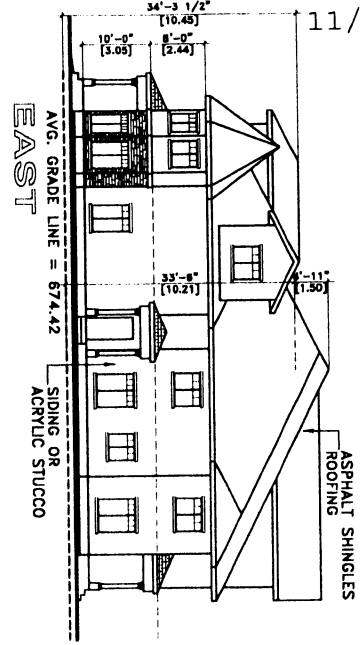
APPENDIX I



105 ST



11/20

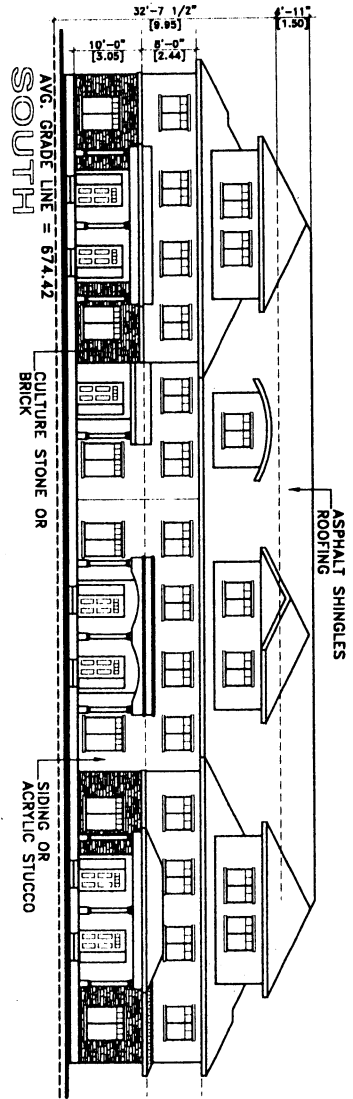
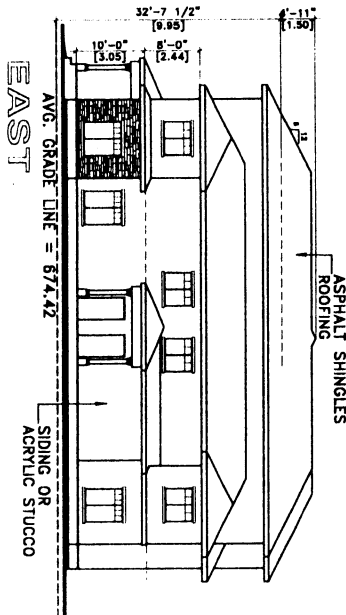
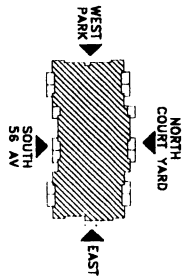
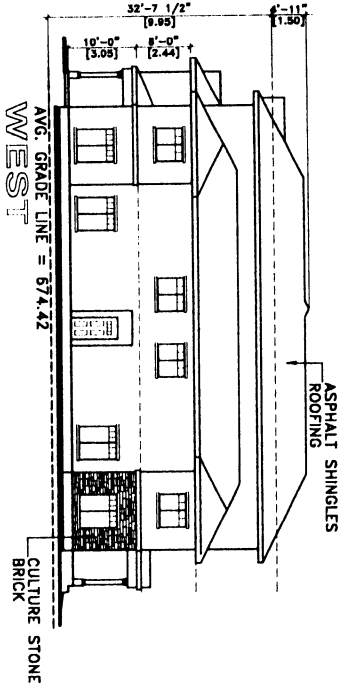
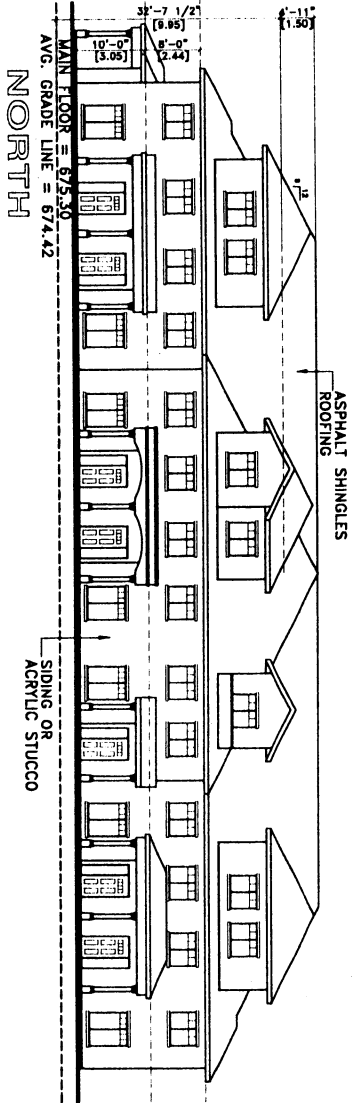


BUILDING-1 ELEVATIONS

APPENDIX II

BUILDING-2 ELEVATIONS

APPENDIX III

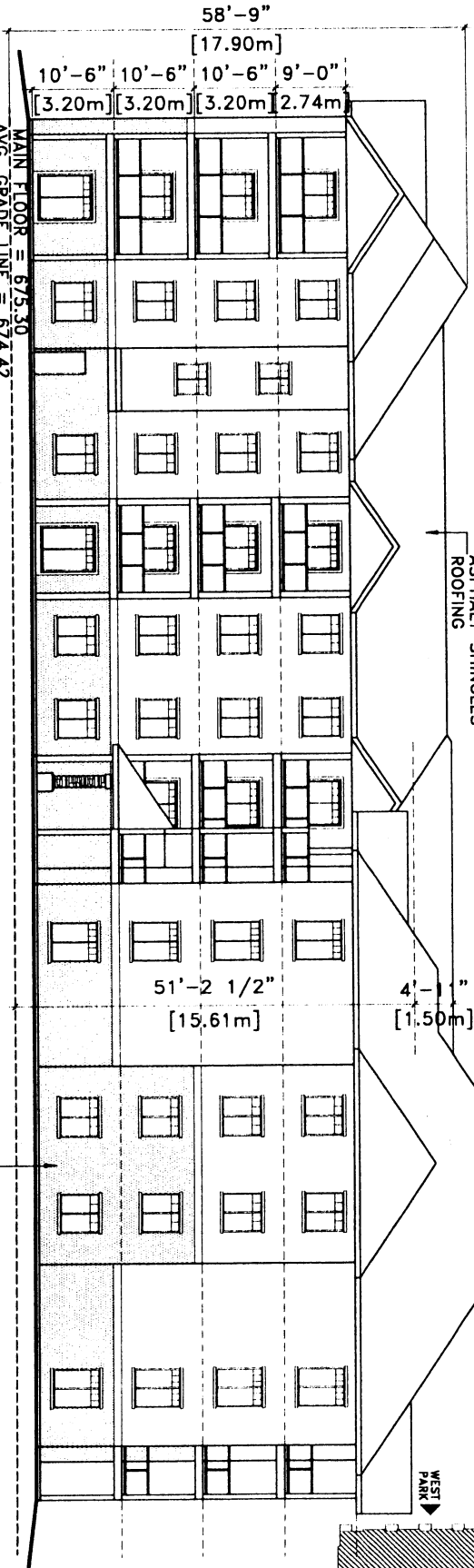


BUILDING-3 ELEVATIONS

APPENDIX IV-6

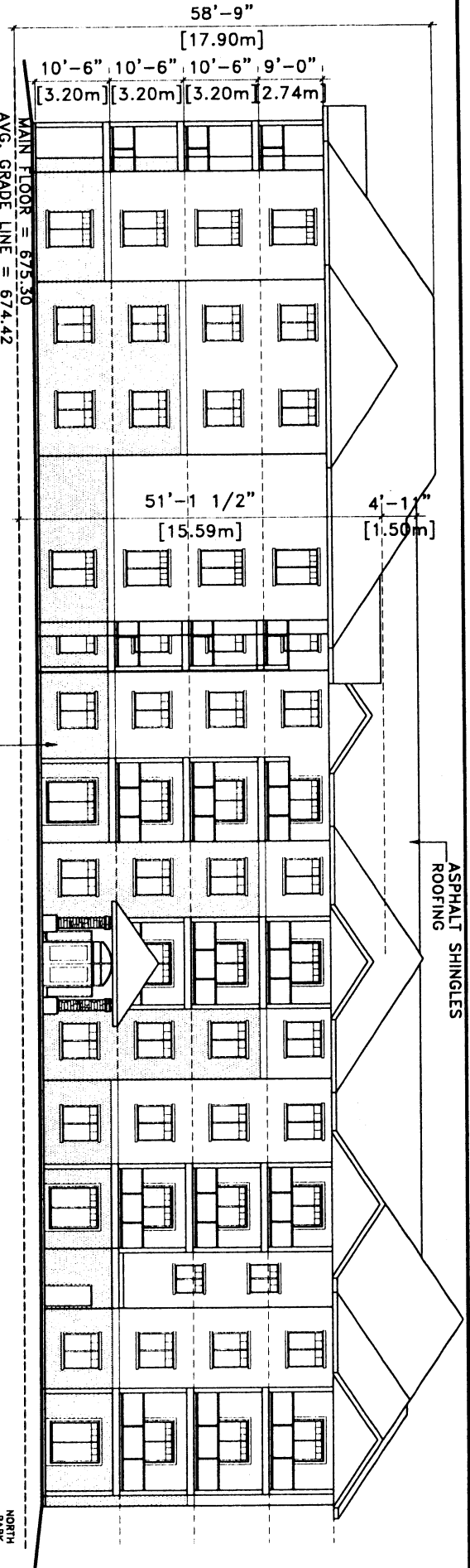
EAST

MAIN FLOOR = 675.30  
AVG. GRADE LINE = 674.42



SOUTH

MAIN FLOOR = 675.30  
AVG. GRADE LINE = 674.42

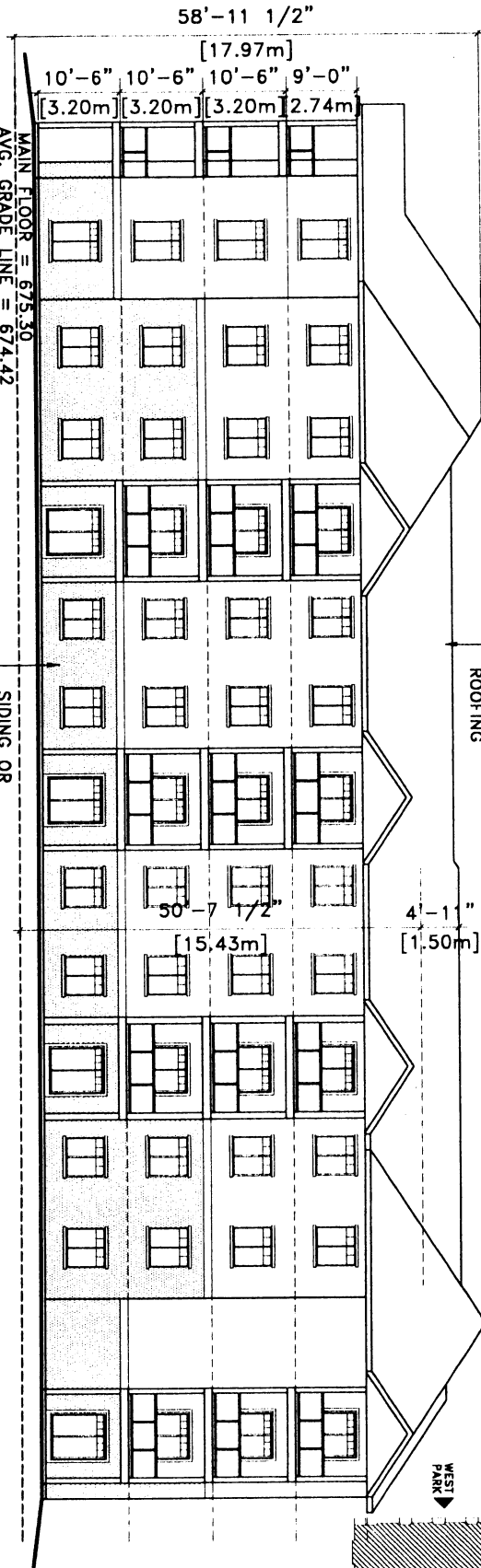


BUILDING-3 ELEVATIONS

APPENDIX IV-B

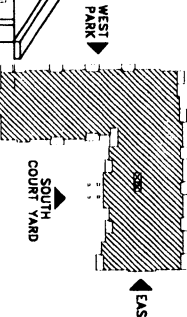
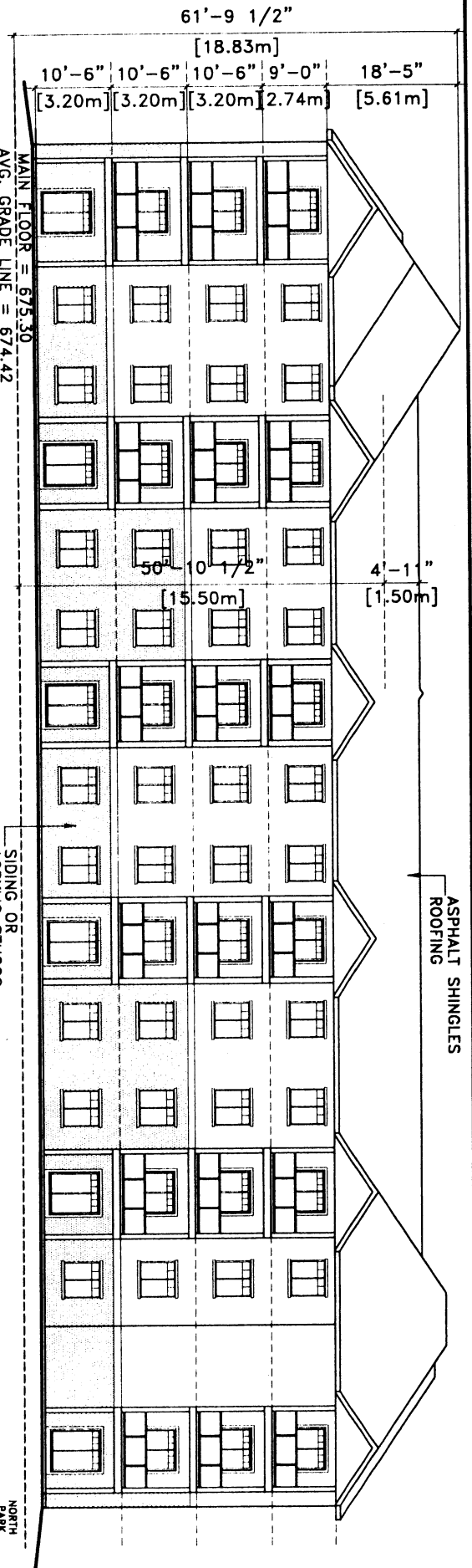
WEST  
MAIN FLOOR = 675.30  
AVG. GRADE LINE = 674.42

SIDING OR  
ACRYLIC STUCCO



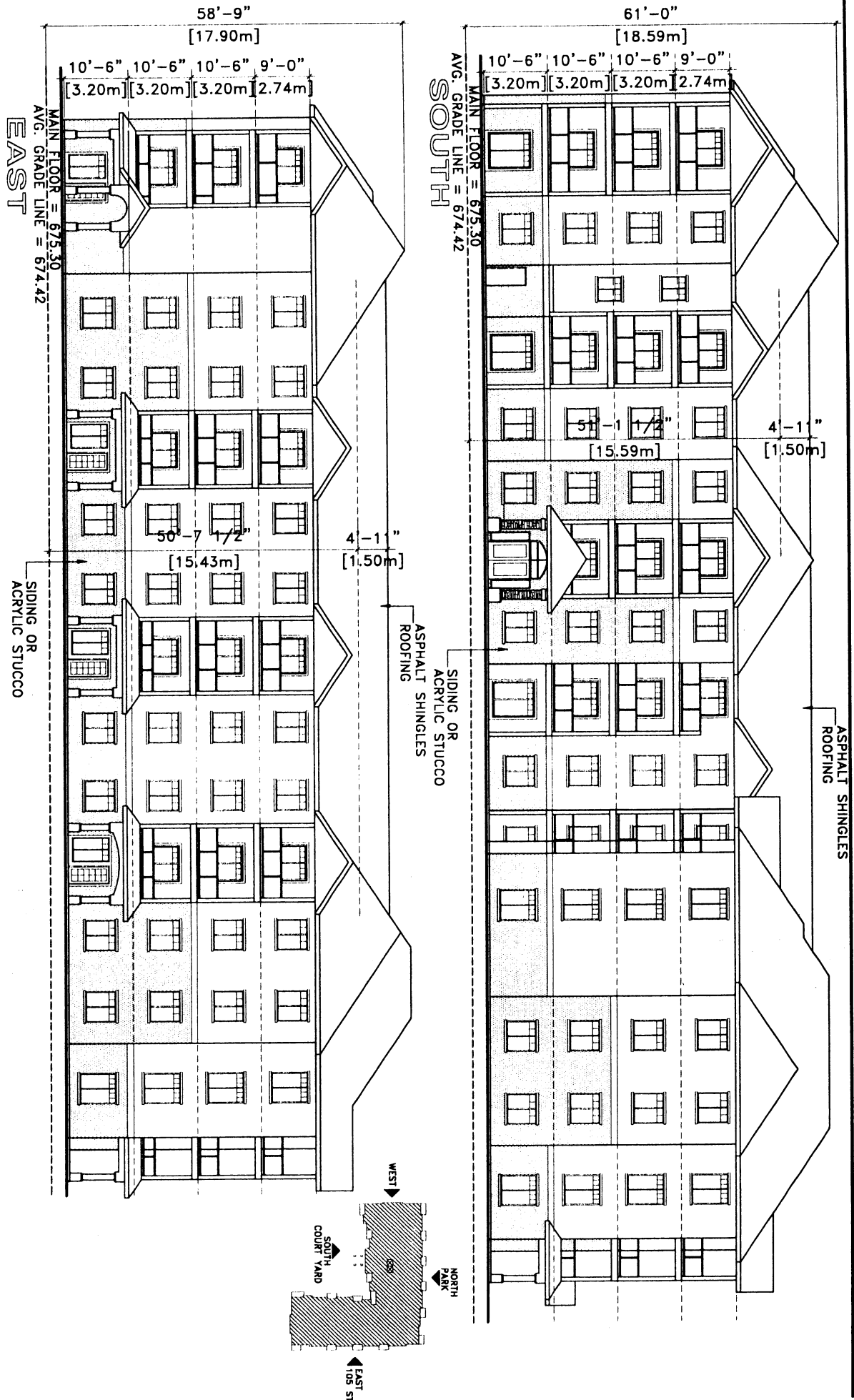
NORTH  
MAIN FLOOR = 675.30  
AVG. GRADE LINE = 674.42

SIDING OR  
ACRYLIC STUCCO



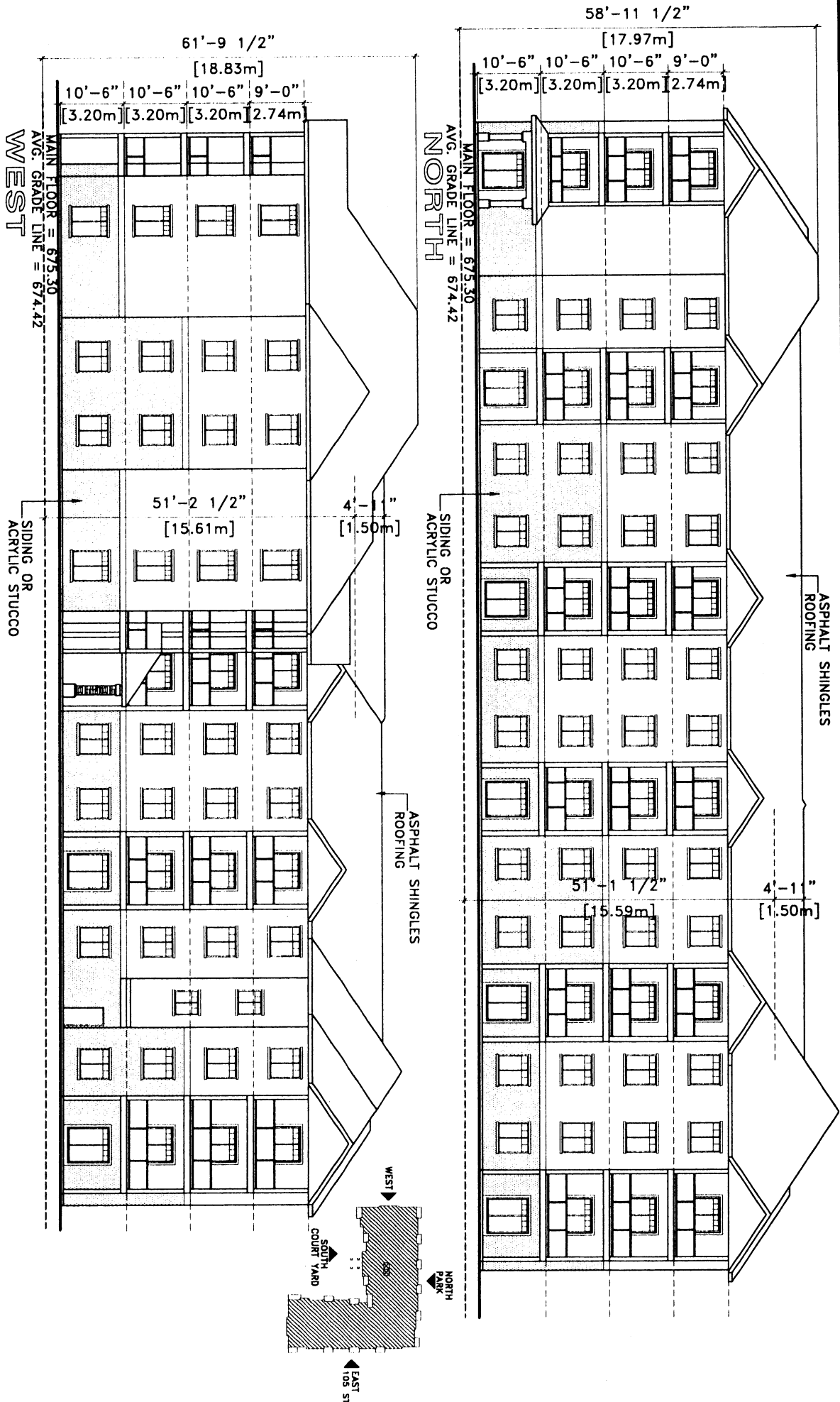
## BUILDING-4 ELEVATIONS

## APPENDIX V-8



## BUILDING-4 ELEVATIONS

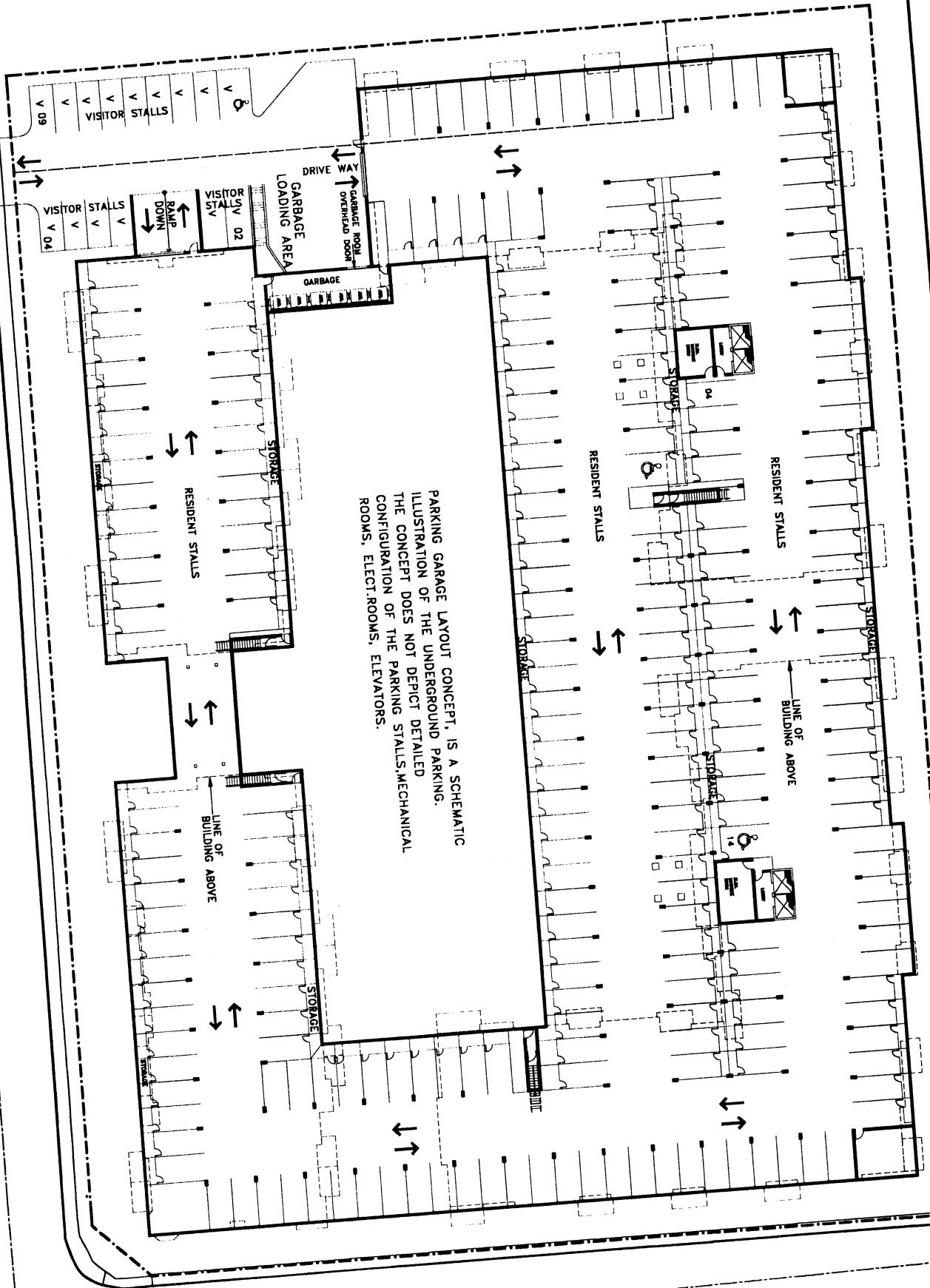
## APPENDIX V-b





**PARKADE**  
UNDERGROUND PARKING GARAGE CONCEPT

**APPENDIX V**

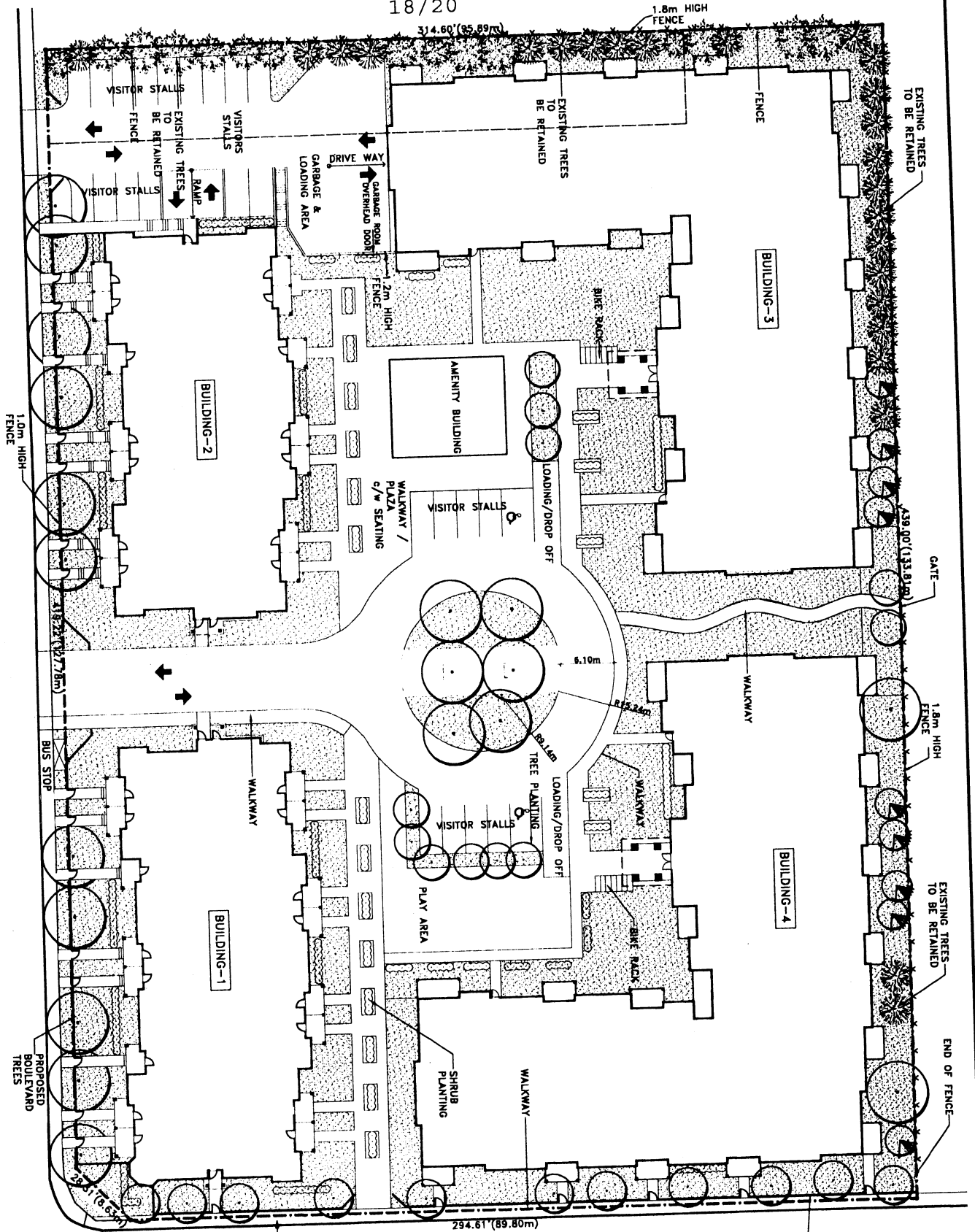




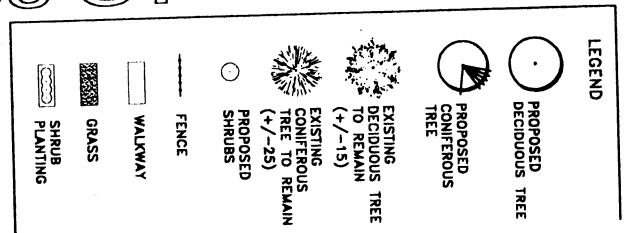
LANDSCAPE  
LANDSCAPE LAYOUT CONCEPT

56 AV

APPENDIX VII



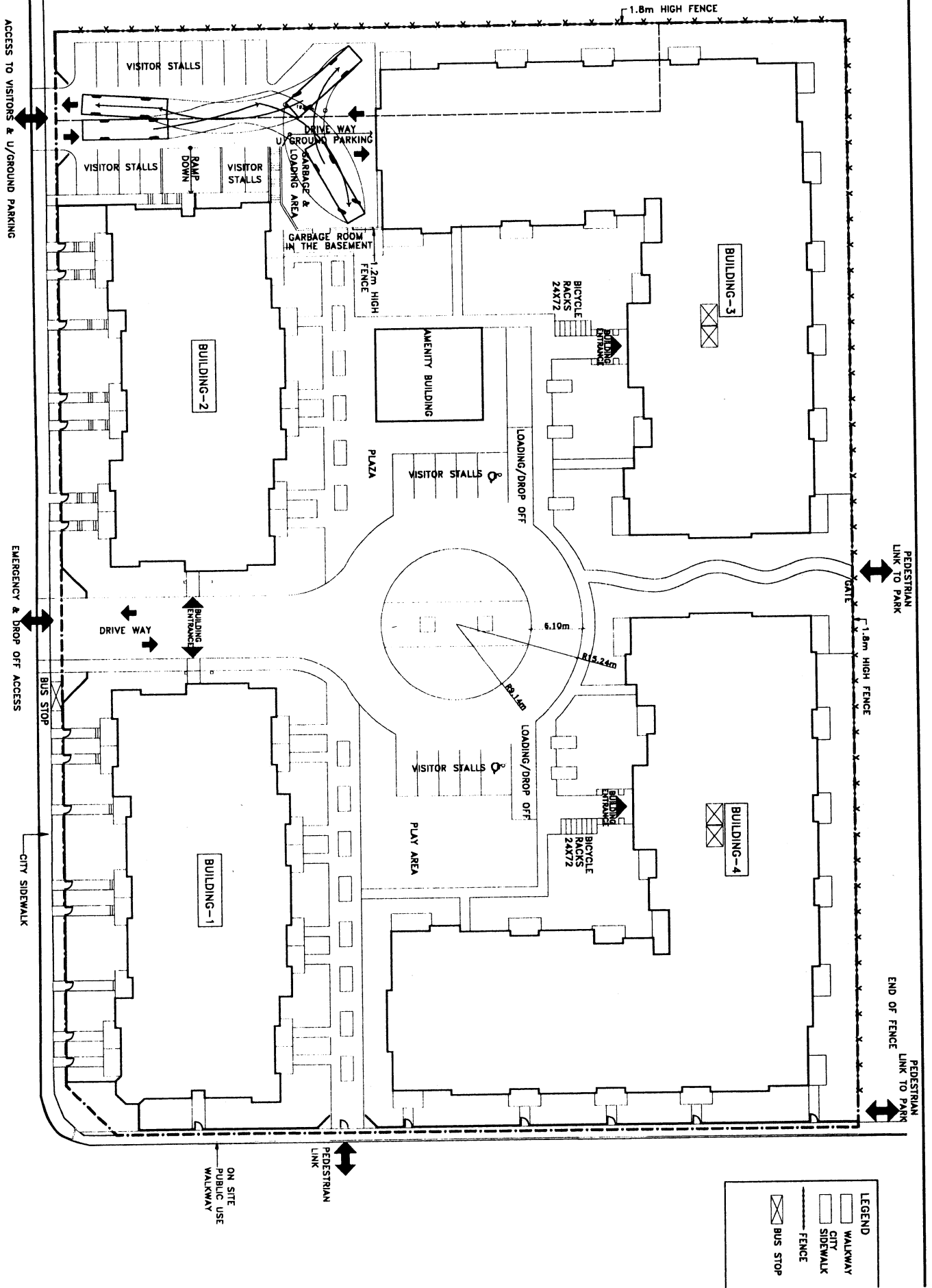
105 ST

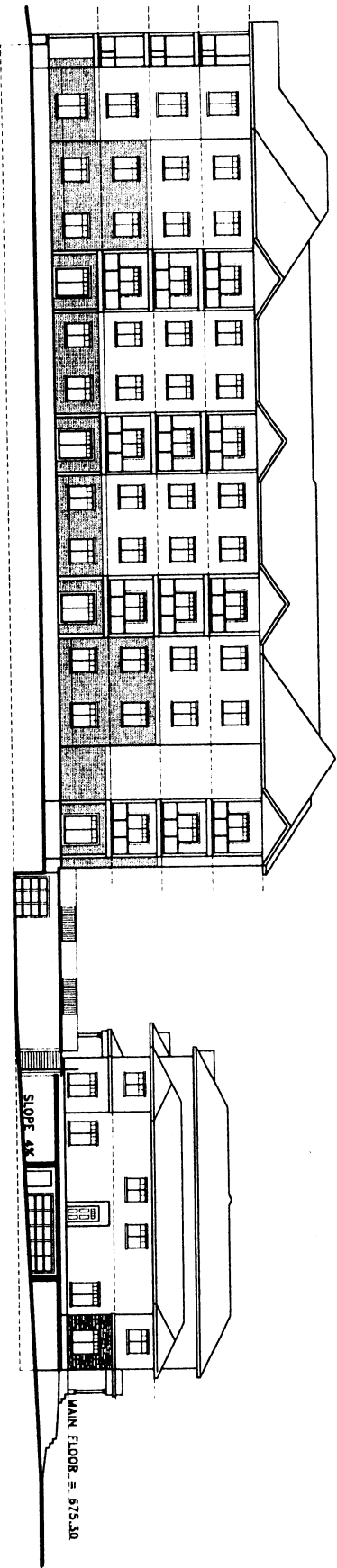




# SITE VEHICLE & PEDESTRIAN CIRCULATION CONCEPT

## APPENDIX VIII





CROSS SECTION OF DRIVEWAY,  
GARBAGE & LOADING AREA

APPENDIX IX