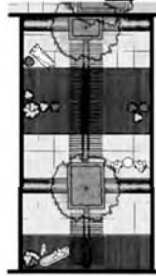
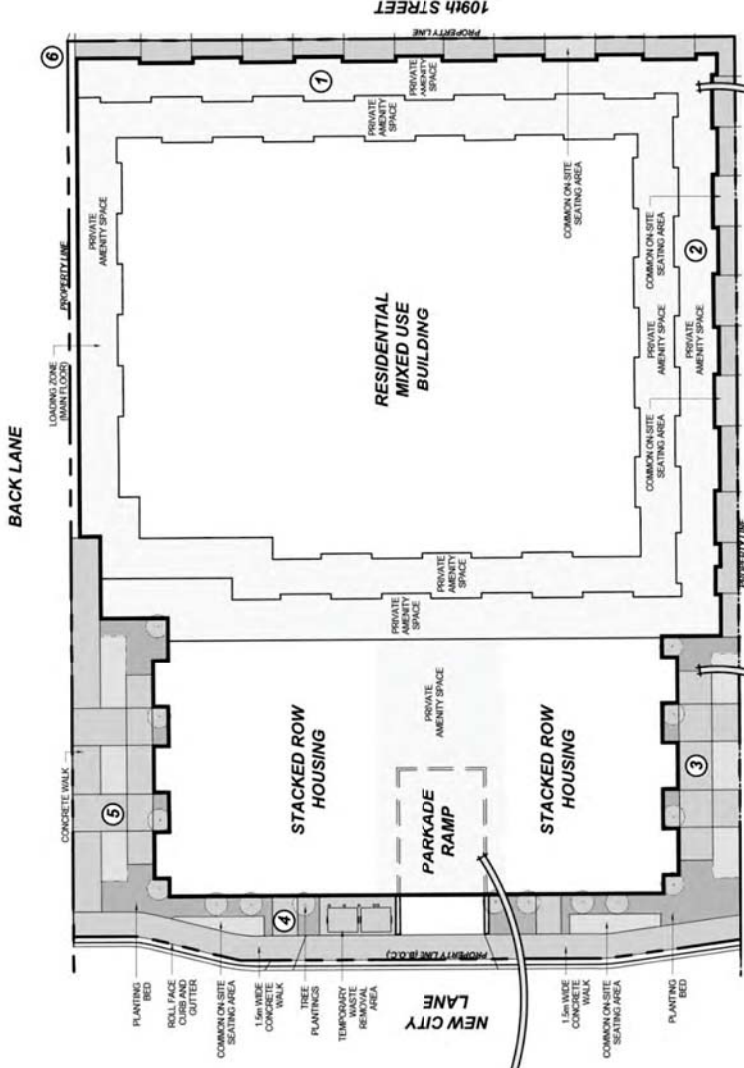


LEGEND COMMERCIAL FRONTAGE
----- PROPERTY LINE	----- APPROXIMATE EXTENT OF COMMERCIAL SPACE
..... RESIDENTIAL FRONTAGE	



BUILDING SETBACK LEGEND

- PROPERTY LINE
- - - - - DENOTES BUILDING ENVELOPE
- ① 10th STREET IS A MINIMUM OF 1.0m
- ② 7th AVENUE COMMERCIAL IS A MINIMUM OF 1.0m
- ③ 7th AVENUE ROW HOUSING IS A MINIMUM OF 3.0m
- ④ WEST LANE TO ROW HOUSING IS A MINIMUM OF 2.5m
- ⑤ NORTH LANE TO ROW HOUSING IS A MINIMUM OF 4.5m
- ⑥ NORTH LANE COMMERCIAL IS A MINIMUM OF 1.0m



CONCEPTUAL DRAWING ILLUSTRATES WHAT THE ROW HOUSING TERRACES MAY LOOK LIKE.



CONCEPTUAL DRAWING ILLUSTRATES WHAT THE ROW HOUSING FRONT YARDS MAY LOOK LIKE.



CONCEPTUAL DRAWING ILLUSTRATES WHAT THE APARTMENT HOUSING ROOF TOPS MAY LOOK LIKE.

ROW AND STACKED ROW HOUSING LANDSCAPING
Row and Stacked Row Housing Component Landscape elements shall include but not be limited to shared front yard access and individual unit entry features using such elements as but not limited to decorative fences and columns, complementary accents including textured pavement and coloured edging pavement materials, sod, shrubs, trees and other suitable landscape materials.

COMMERCIAL USE LANDSCAPING
Commercial Use Component Landscape elements facing 109th Street and 77th Avenue shall be provided and may include but not be limited to pavement materials, bicycle racks, bollards, decorative columns, waste receptacles, seating, exterior lighting, street furniture and planters, to the satisfaction of Sustainable Development and Transportation Services.

PLANT MATERIAL
The Landscape Plan shall include varied sizes and species of native planting materials which are drought tolerant that contribute to the pedestrian-oriented character of the area.

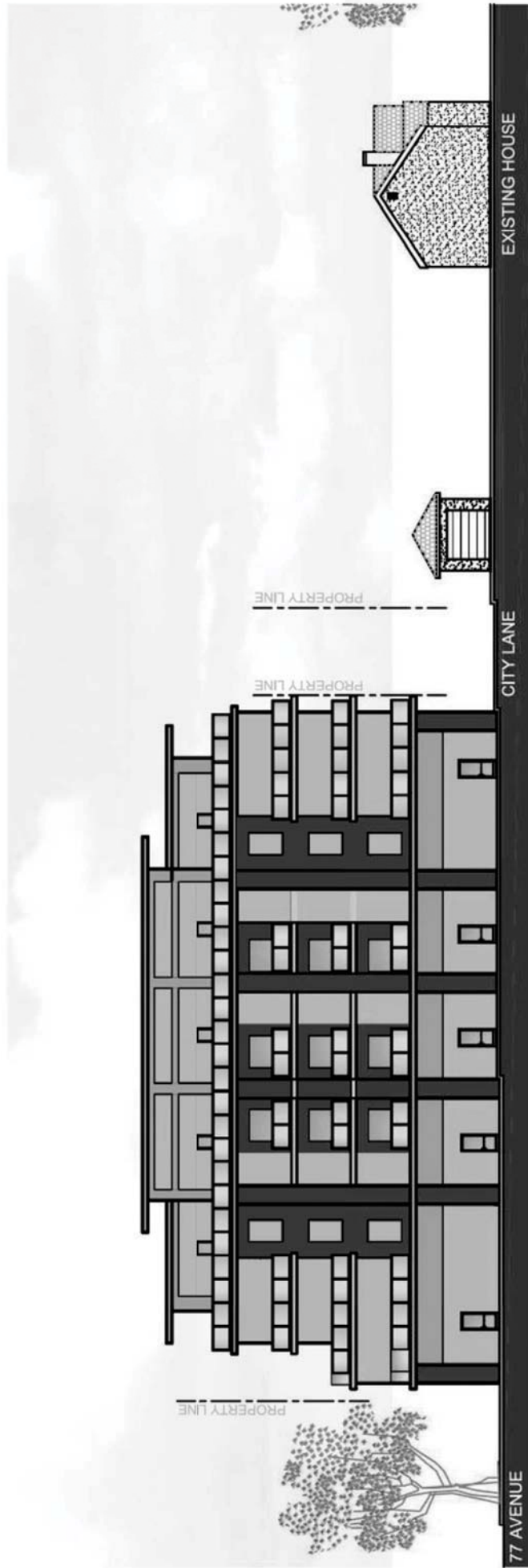
DESIGN CONSIDERATIONS
West side common spaces shall break up the façade of the building, enhance views from adjacent property, and provide a sensitive transition to adjacent lower density uses to the west through use of elements such as but not limited to decorative columns, fencing, sidewalks, decorative stepping stones, waste receptacle, planting beds and seating areas.

Architectural design elements and treatments including but not limited to window placement, awnings where viable, articulation around entrances, roof treatment, and a variety of building finishes, materials, textures, colours, or other features that create an identifiable pattern and sense of human scale.

The Landscaping Plan shall consider the use of landscape elements and street furniture that incorporates colour, with attention to all seasons of the year.




Lighting shall be incorporated to highlight landscaping features and building elements.

PRELIMINARY



1 - EAST ELEVATION - FACING 109 STREET




MATERIALS LEGEND:

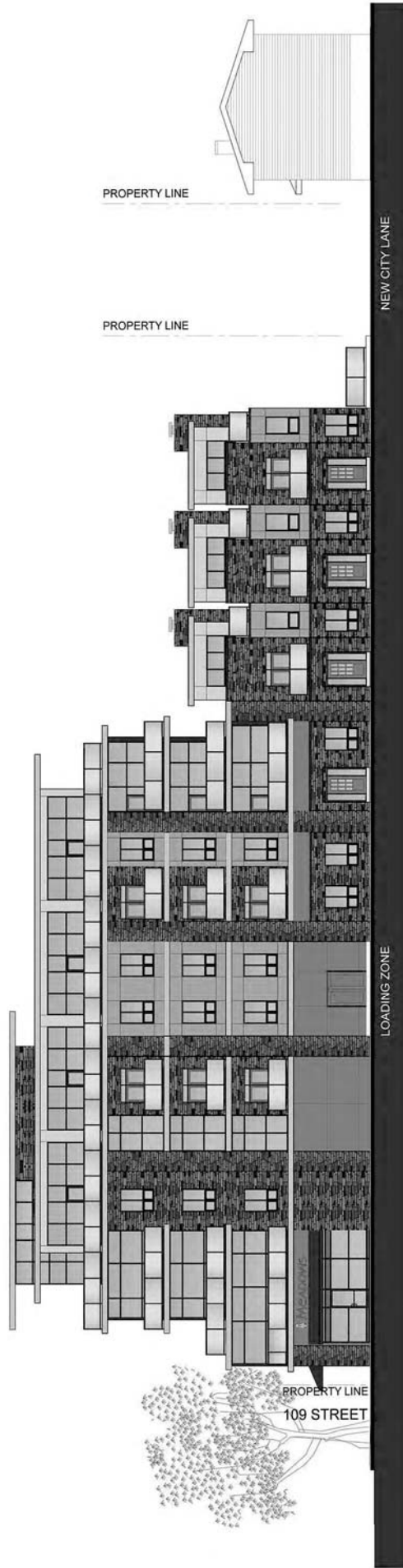
	MASONRY CLADDING		GLAZING		METAL PANEL or EIFS
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1 - SOUTH ELEVATION - FACING 77 AVENUE

MATERIALS LEGEND:

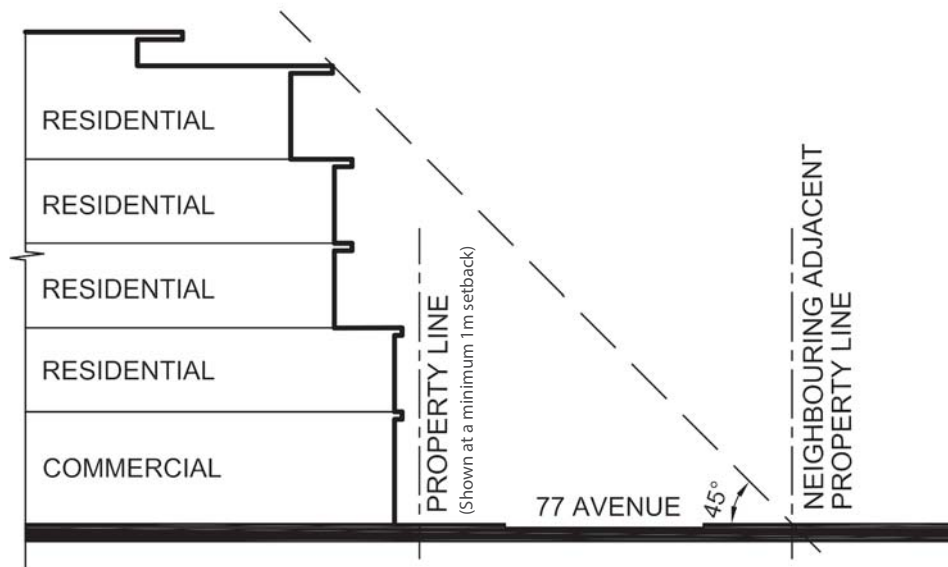
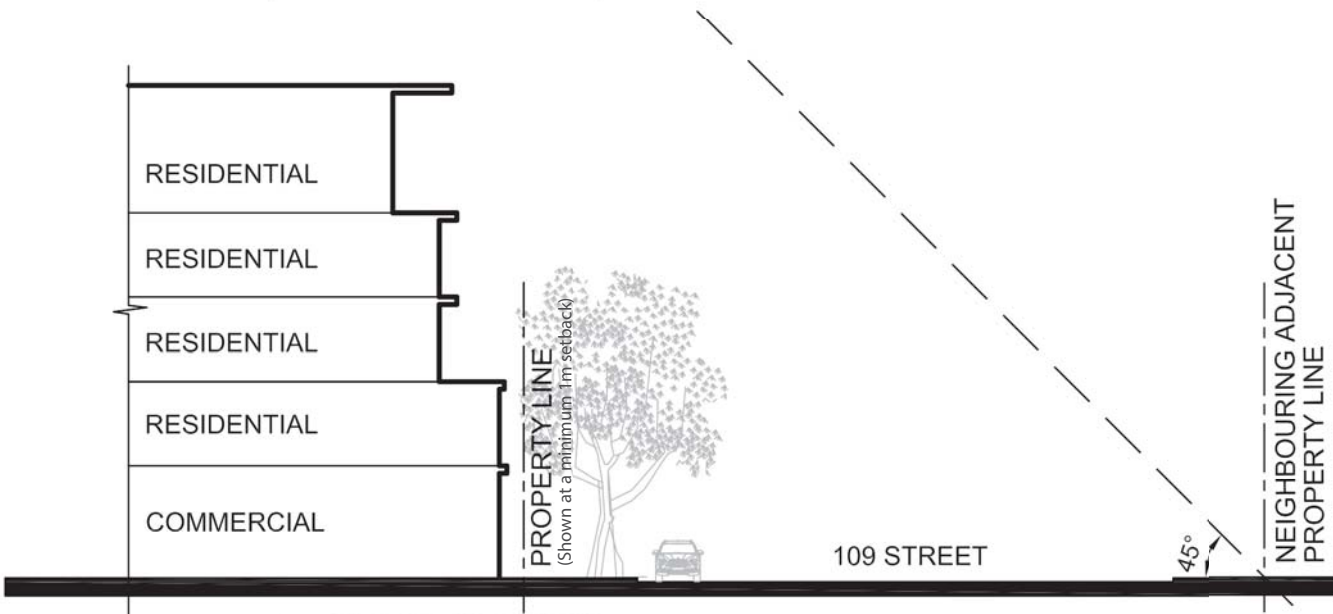
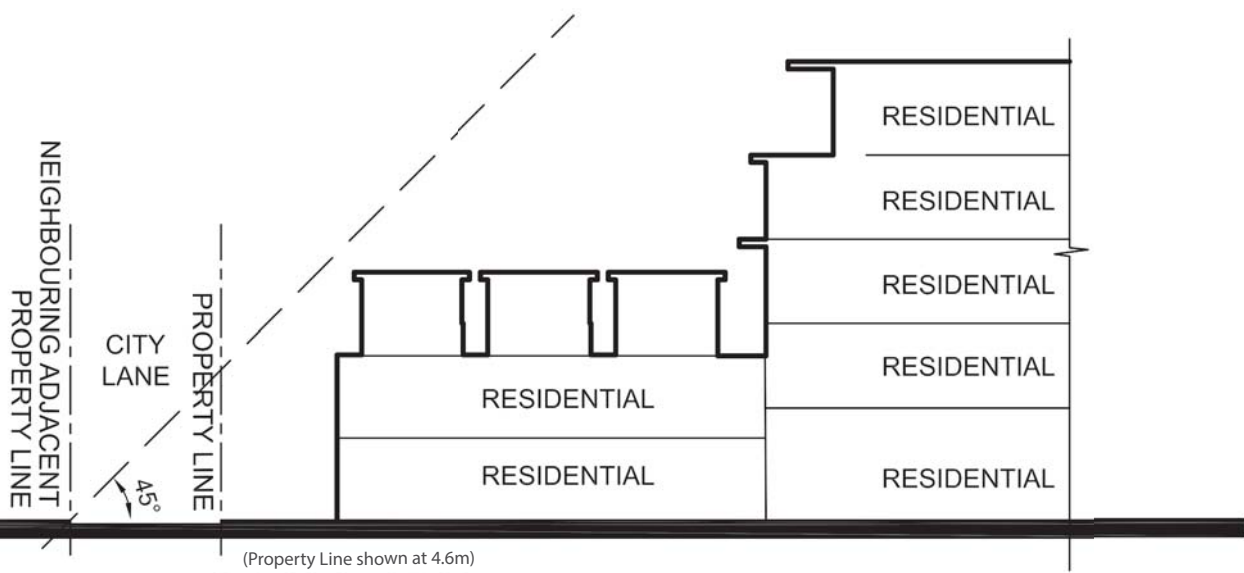
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1 - NORTH ELEVATION - FACING EAST-WEST ALLEY

MATERIALS LEGEND:

- MASONRY CLADDING
- GLAZING
- ACRYLIC STUCCO



STREETSCAPE IMPROVEMENTS

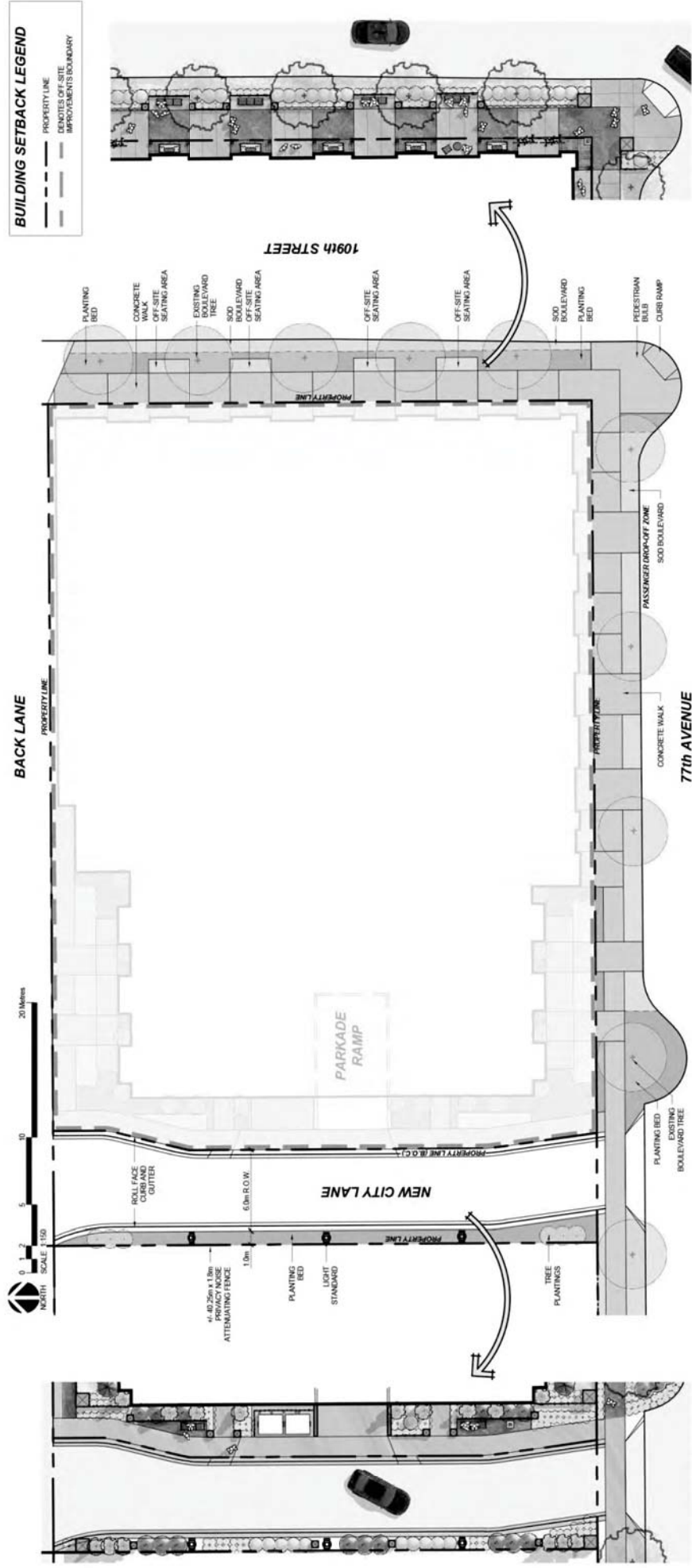
Streetscape and boulevard improvements along 109th Street, 77th Avenue and the north-south Alley shall be done and may include landscape elements and street furniture, curb and gutter restoration, sidewalks and curb crossings to cohesively create an enhanced and active street frontage.

DESIGN ELEMENTS

Design elements shall consider the incorporation of such elements as, but not limited to, architectural columns, bollards, lighting standards, planting areas and special paving features.

PLANTING

Landscaping shall include varied sizes and species of native planting materials which are drought tolerant that contribute to the pedestrian-oriented character of the area. Existing mature boulevard trees within the City right-of-way adjacent to the Site along 109th Street and 77th Avenue will be retained.



CONCEPTUAL DRAWING ILLUSTRATES WHAT THE NEW NORTH-SOUTH ALLEY MAY LOOK LIKE.

CONCEPTUAL DRAWING ILLUSTRATES WHAT THE 109th STREETSCAPE MAY LOOK LIKE.

A 1.8 m solid privacy and noise attenuating fence with landscaping consisting of trees and shrubs on the west edge new north-south Alley shall be provided to help screen the underground parking ramp and enhance the privacy for the adjacent low density residential sites to the west.

Boulevard improvements may include expanded local street intersection corners and a passenger drop-off zone.

PRELIMINARY